

MILE HIGH PLACE NORTH

SITE DEVELOPMENT PLAN

MULTIFAMILY RESIDENTIAL

A PORTION OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF DENVER, COUNTY OF DENVER, STATE OF COLORADO
LOCATED AT: 1598 N HOOKER STREET DENVER, CO 80204

2019085906
Page: 1 of 11
07/03/2019 08:47 AM
City & County of Denver
R \$113.00
D \$0.00
PBG

PROJECT BENCHMARK

BENCHMARK FOR THIS SURVEY IS A CITY AND COUNTY OF DENVER BRASS CAP IN THE CONCRETE NEAR THE SOUTHEAST CORNER OF THE INTERSECTION OF IRVING STREET AND WEST COLFAX AVENUE. STAMPED 77B BENCHMARK ELEVATION: 5298.57 (1988 NAVD)

LEGAL DESCRIPTION

BEGINNING AT THE NORTHWEST CORNER OF LOT 32, BLOCK 26, CHELTENHAM HEIGHTS AS RESUBDIVIDED BY F.E. BUSBY, ALSO BEING A POINT ON THE EAST RIGHT-OF-WAY OF HOOKER STREET AND THE SOUTH RIGHT-OF-WAY OF WEST 16TH AVENUE; THENCE S89°52'19"E ALONG SAID SOUTH RIGHT-OF-WAY, A DISTANCE OF 170.08 FEET TO A POINT ON THE WEST RIGHT-OF-WAY OF A 20 FEET ALLEY; THENCE S00°00'32"W ALONG SAID WEST RIGHT-OF-WAY, A DISTANCE OF 49.60 FEET; THENCE N89°52'27"W, A DISTANCE OF 170.09 FEET TO A POINT ON SAID EAST RIGHT-OF-WAY; THENCE N00°01'02"E ALONG SAID EAST RIGHT OF WAY, A DISTANCE OF 49.59 FEET TO THE POINT OF BEGINNING AND CONTAINING 8435.6 SQUARE FEET MORE OR LESS.

BASIS OF BEARINGS

BASIS OF BEARINGS IS ASSUMED BETWEEN THE FOUND ROUND DOWEL IN DENVER RANGE BOX NEAR THE INTERSECTION OF W. 16TH AVE. AND HOOKER ST. AND THE FOUND AXLE IN DENVER RANGE BOX NEAR THE INTERSECTION OF W. 16TH AVE. AND GROVE ST., BLOCK 26, CHELTENHAM HEIGHTS, AS RESUBDIVIDED BY F.E. BUSBY. ASSUMED BEARING = N89°52'19"W AS SHOWN ON SURVEY.

STATISTICAL INFORMATION - TABLE A

ZONE DISTRICT: C-MX-5

GENERAL ZONE LOT INFORMATION	SQ. FT.	ACRES
ZONE LOT SIZE (GROSS PROJECT AREA)	8,435.6 SF	0.19
AREA TO BE DEEDED FOR ADDITIONAL RIGHT-OF-WAY	N/A	N/A
PRIMARY AND SIDE STREET DESIGNATIONS	PRIMARY ST: SIDE ST:	N. HOOKER STREET WEST 16TH AVENUE
PROPOSED USE(S)	DWELLING, MULTI-UNIT	
NUMBER OF DWELLING UNITS	24	
BUILDING FORM USED	GENERAL	
GROSS FLOOR AREA (SQ. FT)	24,933 SF	
DESIGN ELEMENTS	ALLOWED	PROPOSED
BUILDING HEIGHT, STORIES (MAX)	5	5
BUILDING HEIGHT, FEET (MAX)	70'	66' - 1/2"

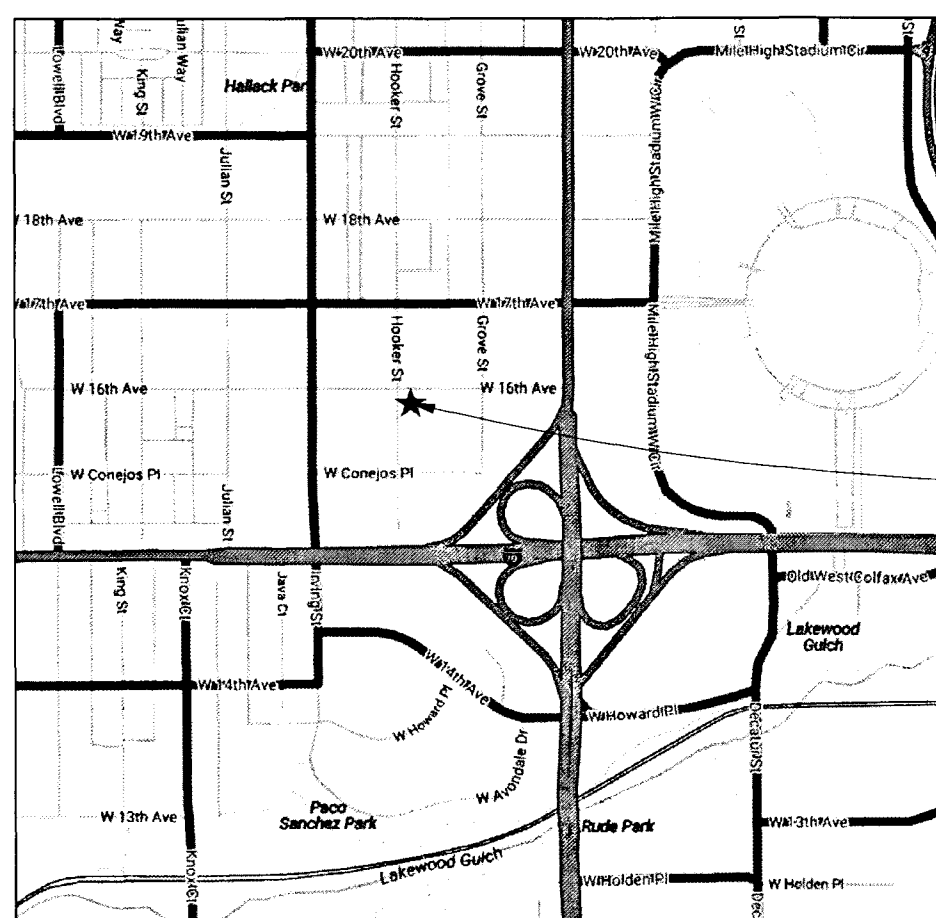
BUILD-TO	REQUIRED	PROVIDED
PRIMARY STREET TOTAL BUILD-TO (MIN % WITHIN MIN/MAX) (REFER TO SHEET 03 OF 11 FOR DETAILS)	70% 0/15'	88%
SIDE STREET TOTAL BUILD-TO (MIN % WITHIN MIN/MAX)	N/A	N/A
OVERALL BUILDINGS OR STRUCTURE LENGTH (MAX) (REFER TO SHEET 03 OF 11 FOR DETAILS)	34'-8"	44'-0 1/2"

PARKING	REQUIRED (MIN/MAX)	PROVIDED
STANDARD SPACES DWELLING, MULTI-UNIT: (.75 PER UNIT x 24 UNITS) = 18 18 MIN. / NO MAX.		18
PER DENVER ZONING CODE SECTION 10.4.5.3, ON-SITE CAR SHARING REDUCTION: (14 PHYSICAL SPACES PROVIDED = 11 STANDARD + 1 COMPACT SPACE = 1 ACCESSIBLE SPACE + 1 CAR SHARE SPACE (PROVIDING 5 PARKING SPACE CREDITS) = 18 SPACES TOTAL) SEE NOTE L ON THIS SHEET		

BICYCLE (ENCLOSED/FIXED) DWELLING, MULTI-UNIT: (80/20) 1 PER 2 UNITS x 23 UNITS = 12 (=10 ENCLOSED / 2 FIXED)	10 ENCL. / 2 FIXED	10 ENCL. / 2 FIXED
GROUND STORY ACTIVATION	REQUIRED (MIN)	PROVIDED
TOTAL TRANSPARENCY PRIMARY STREET (%) (REFER TO SHEET 09 OF 11 FOR ANALYSES)	40%	54%
TOTAL TRANSPARENCY SIDE STREET (%) (REFER TO SHEET 09 OF 11 FOR ANALYSES)	25%	25%

ACTIVE USE AND SETBACK REQUIREMENTS

ACTIVE USE	REQUIRED (MIN)	PROVIDED
PRIMARY STREET - NORTH HOOKER STREET (REFER TO SHEET 03 OF 11 FOR ANALYSES)	100%	100%
SETBACKS	REQUIRED (MIN)	PROVIDED
PRIMARY STREET - NORTH HOOKER STREET	0'	0' - 2"
SIDE STREET - WEST 16TH AVENUE	0'	0' - 6"
SIDE INTERIOR	0'	0' - 4"
REAR, ALLEY	0'	0' - 9 1/2"



VICINITY MAP
N.T.S.

SHEET INDEX

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GENERAL NOTES:

- THE SDP WAS REVIEWED UNDER MAY 24, 2018 AS AMENDED THROUGH OCTOBER 11, 2018 DENVER ZONING CODE.
- FENCES, WALLS SIGNS AND ACCESSORY STRUCTURES ARE SUBJECT TO SEPARATE REVIEWS AND PERMITS.
- ANGLES NOT SHOWN ARE EITHER 90 DEGREES OR A SUPPLEMENT OF THE ANGLE INDICATED.
- PRIVATE ROADWAYS WILL BE POSTED WITH "FIRE LANE" SIGNS AS REQUIRED BY THE DENVER FIRE DEPARTMENT.
- PARKING SPACES FOR PERSONS WITH DISABILITIES WILL BE CLEARLY DELINEATED WITH UPRIGHT SIGNS.
- APPROVAL FOR THIS PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH ADA REQUIREMENTS.
- SITE(S) SHALL BE LANDSCAPED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) DURING THE GROWTH SEASON OF APRIL 1ST TO OCTOBER 1ST, AT ALL OTHER TIMES THE INDIVIDUAL SITES SHALL BE LANDSCAPED WITHIN 45 (FORTY-FIVE) DAYS OF THE START OF THE GROWING SEASON.
- AN ACCESS EASEMENT FOR EMERGENCY SERVICES IS HEREBY GRANTED ON AND ACROSS ALL AREAS FOR POLICE, FIRE, MEDICAL AND OTHER EMERGENCY VEHICLES AND FOR THE PROVISION OF EMERGENCY SERVICES.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH UNDERGROUND AUTOMATIC IRRIGATION SYSTEMS. TREES, SHRUBS, AND DECORATIVE GRASSES WILL BE IRRIGATED BY A SEPARATE ZONE FROM SOD/GRASS; THIS INCLUDES TREES PLANTED IN SOD/GRASS AREA. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF INSTALLED.
- PRIVATE ROADWAYS ARE NON-DEDICATED STREETS AND WILL NOT BE MAINTAINED BY THE CITY AND COUNTY OF DENVER.
- RESPONSIBILITY FOR THE MAINTENANCE OF THE COMMONLY OWNED LAND AS CONSTRUCTED AS PART OF THIS DEVELOPMENT WILL BE THAT OF THE HOMEOWNERS ASSOCIATION/PROPERTY OWNER(S) OF PARCELS.
- PER SECTION 10.4.5.3 THE ON-SITE CAR SHARE PROGRAM IS USED TO MEET THE MINIMUM REQUIRED PARKING. THE CAR SHARE SHALL BE MADE AVAILABLE TO ALL RESIDENTS ON THIS ZONE LOT. THE ON-SITE CAR SHARE AGREEMENT MUST REMAIN IN EFFECT FOR THE DURATION OF THE PARKING CREDIT ALLOWANCE. CESSATION OF THE AGREEMENT VOIDS THE ZONING USE PERMIT. AN EXCUTED CAR SHARE AGREEMENT BETWEEN ZIP CAR AND RISE REALTY HOLDINGS, LLC DATED OCTOBER 8, 2018 IS ON FILE WITH THE CITY LOCATED WITHIN THE 2018PM0000476 PROJECT FOLDER.

OWNER'S SIGNATURES

I (WE), THE UNDERSIGNED, SHALL COMPLY WITH ALL REGULATIONS CONTAINED IN THE DENVER ZONING CODE. THE FOLLOWING SIGNATURES CONSTITUTE ALL OWNERS OF AND HOLDERS OF DEEDS OF TRUST FOR LAND AND STRUCTURES INCLUDED IN THIS PLAN:

RISE REALTY HOLDINGS, LLC

BY: JAMES HERRON, MANAGER

DATE: 6/11/19

STATE OF COLORADO
CITY AND COUNTY OF DENVER

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 11 DAY OF June, A.D. 2019, BY JAMES HERRON.

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES: 1/08/2023

NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20154000977
MY COMMISSION EXPIRES JANUARY 8 2023

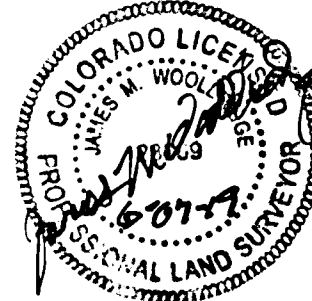
NOTARY PUBLIC

201 W. Colfax Ave. Dept. 205, Denver, CO 80202
ADDRESS

SURVEYOR'S CERTIFICATION

I, JAMES M. WOOLDRIDGE, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY STATE THAT THE SURVEY FOR HOOKER STREET APARTMENTS WAS MADE UNDER MY SUPERVISION AND THE ACCOMPANYING PLAN ACCURATELY AND PROPERLY SHOWS SAID SURVEY.

James M. Wooldridge
JAMES M. WOOLDRIDGE, P.L.S. NO. 83669
FOR & ON BEHALF OF CROSSROADS SURVEYING, INC.



APPROVALS:

APPROVED BY: [Signature] FOR THE DENVER ZONING ADMINISTRATOR

DATE: 6.21.19

APPROVED BY: [Signature] FOR THE MANAGER OF COMMUNITY PLANNING AND DEVELOPMENT

DATE: 6.21.19

CLERK AND RECORDER'S CERTIFICATION:

STATE OF COLORADO

J.S.S.

CITY AND COUNTY OF DENVER

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN MY OFFICE AT 8:47 O'CLOCK A.M. July 3, 2019 AND DULY RECORDED

UNDER RECEPTION # 2019085906

CLERK AND RECORDER: EX-OFFICIO CLERK OF THE CITY AND COUNTY OF DENVER.

BY: [Signature] DEPUTY

FEE: \$113.00



PIVOTAL
ARCHITECTURE, PC

771 Santa Fe Drive #204
Denver, CO 80204
ph. (720) 473-6320

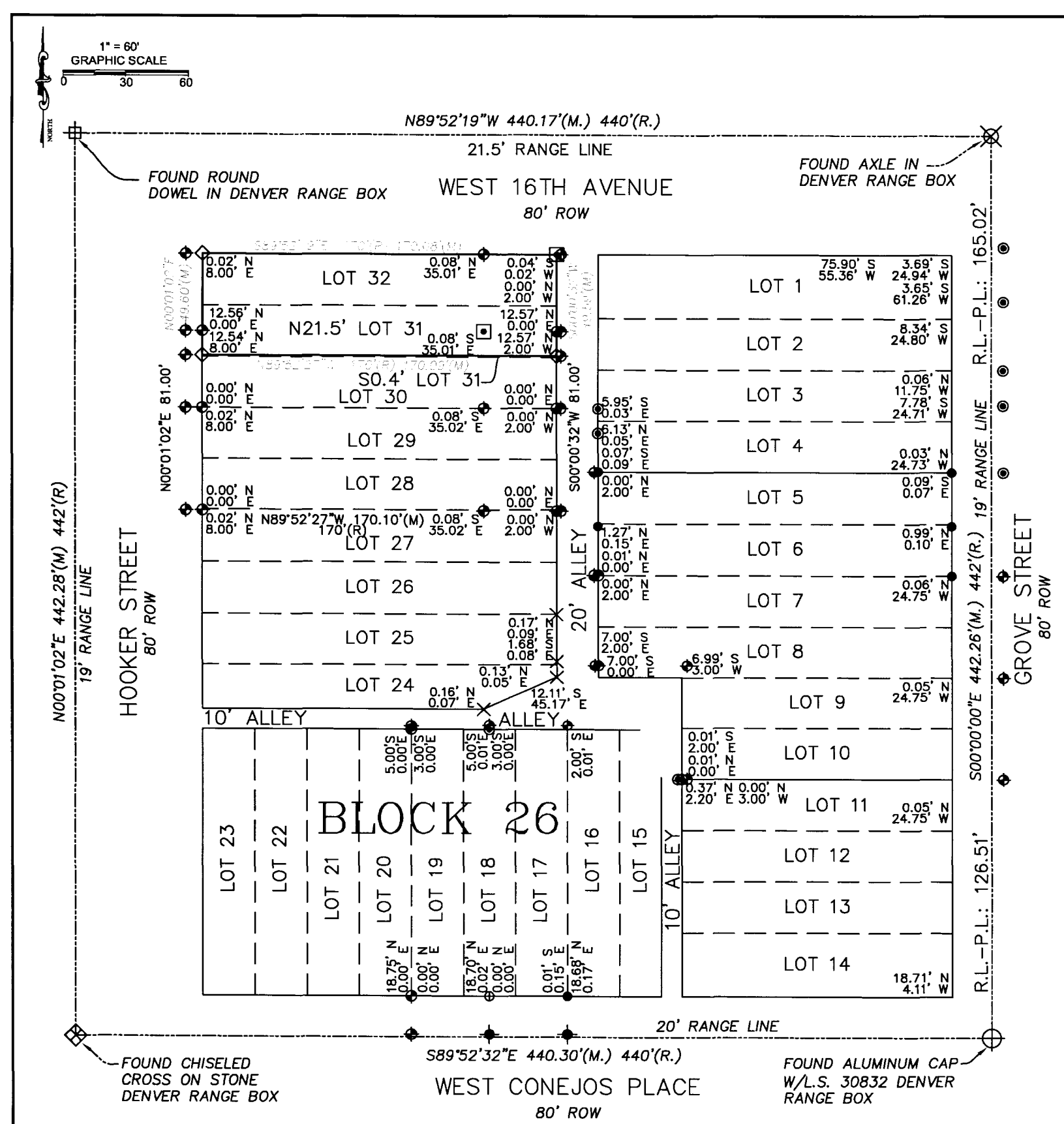
COVER SHEET SHEET 01 OF 11

05/09/2019

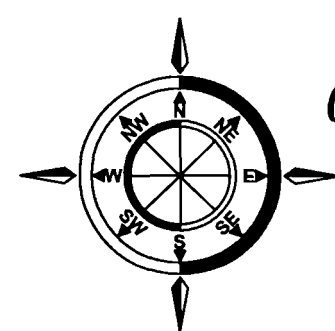
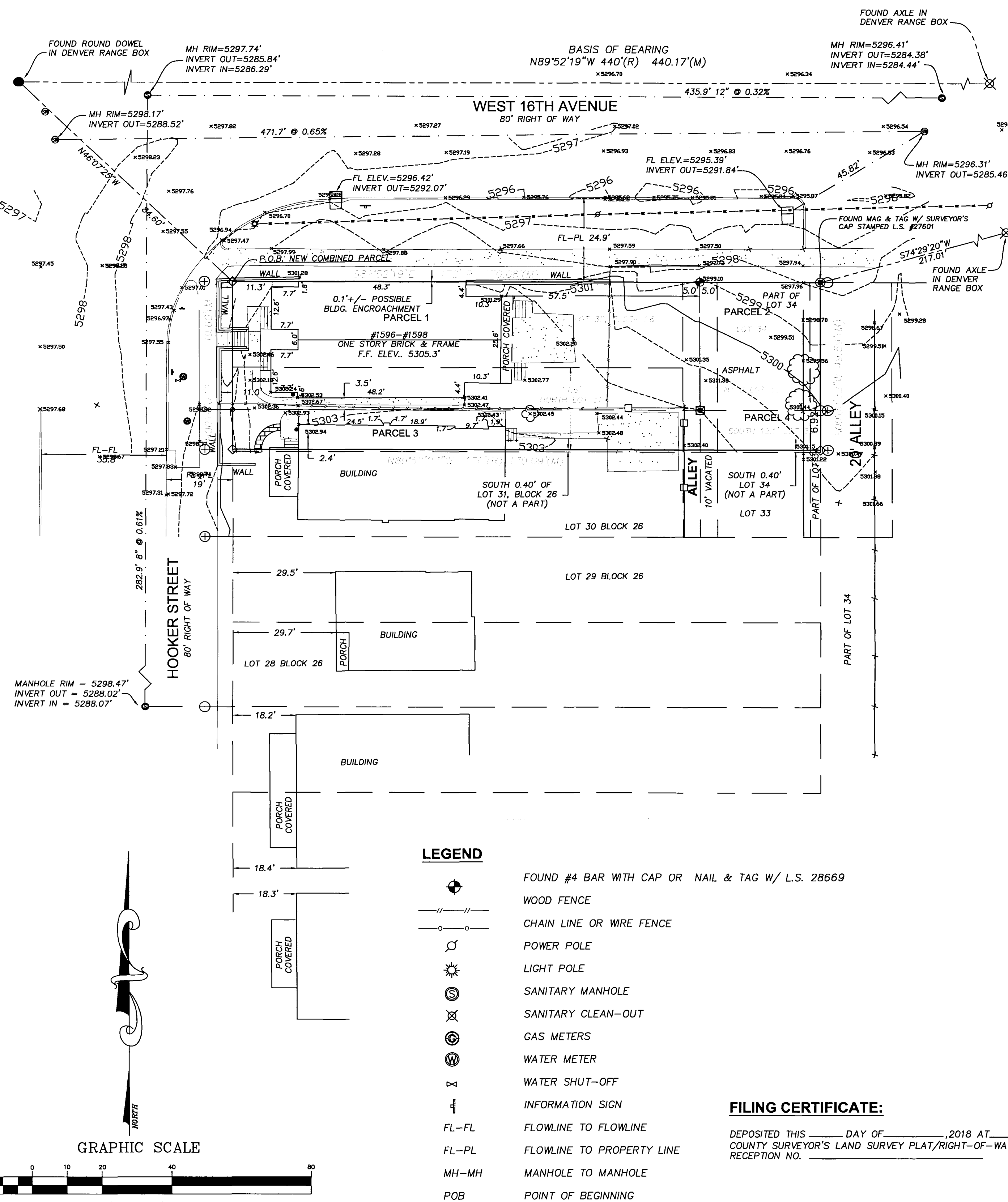
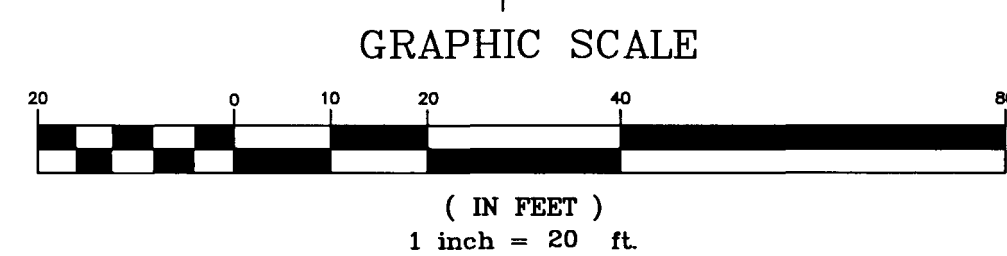
MILE HIGH PLACE NORTH PROJECT LOG #: 2018PM0000476

MILE HIGH PLACE NORTH**SITE DEVELOPMENT PLAN**

MULTIFAMILY RESIDENTIAL

A PORTION OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF DENVER, COUNTY OF DENVER, STATE OF COLORADO
LOCATED AT: 1598 N HOOKER STREET DENVER, CO 80204**RANGE LINE CONTROL MAP
N-S/E-W DISTANCE FROM FOUND POINT TO CALCULATED POINT****LEGEND RANGE LINE CONTROL MAP:**

- ❖ FOUND CHISELED CROSS ON STONE IN DENVER RANGE BOX AS SHOWN
- ⊗ FOUND AXLE IN DENVER RANGE BOX OR AS NOTED HEREON
- ⊕ FOUND DOWEL IN DENVER RANGE BOX AS NOTED HEREON
- ⊕ FOUND ALUMINUM CAP W/ L.S.#30832 IN DENVER RANGE BOX
- ⊙ FOUND NAIL & TAG W/ L.S. 15321
- + FOUND CHISELED CROSS
- × FOUND NAIL & TAG W/ L.S. 27269
- FOUND REBAR & CAP W/ L.S. 9489
- ⬢ FOUND NAIL & TAG W/ L.S. 16116
- FOUND NAIL & TAG W/ L.S. 27601
- ◇ SET #4 BAR WITH L.S. # 28669 SURVEYOR'S CAP @ PROPERTY CORNERS
- ⊕ SET MAG NAIL W/ L.S. # 28669 TAG @ 2.00' OFFSETS IN THE ALLEY AND @ 8.00' IN HOOKER ST. R.O.W.

**CROSSROADS SURVEYING, INC.**10250 W. MISSISSIPPI AVE. #1106
LAKEWOOD, COLORADO 80226
PHONE: 720-974-8088
FAX: 720-974-6089**LEGEND**

- ⊕ FOUND #4 BAR WITH CAP OR NAIL & TAG W/ L.S. 28669
- — — — — WOOD FENCE
- — — — — CHAIN LINE OR WIRE FENCE
- ⊙ POWER POLE
- ⊙ LIGHT POLE
- ⊙ SANITARY MANHOLE
- ⊙ SANITARY CLEAN-OUT
- ⊙ GAS METERS
- ⊙ WATER METER
- ⊙ WATER SHUT-OFF
- ⊙ INFORMATION SIGN
- FL-FL FLOWLINE TO FLOWLINE
- FL-PL FLOWLINE TO PROPERTY LINE
- MH-MH MANHOLE TO MANHOLE
- POB POINT OF BEGINNING

FILING CERTIFICATE:DEPOSITED THIS _____ DAY OF _____, 2018 AT _____ M., IN BOOK _____ OF THE
COUNTY SURVEYOR'S LAND SURVEY PLAT/RIGHT-OF-WAY SURVEYS AT PAGE _____,
RECEPTION NO. _____

COUNTY SURVEYOR

PROPERTY DESCRIPTION:

A PORTION OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF DENVER, COUNTY OF DENVER, STATE OF COLORADO.

PARCEL 1 DESCRIPTION:

LOT 32 AND THE NORTH 1/2 OF LOT 31, BLOCK 26, CHELTENHAM HEIGHTS AS RESUBDIVIDED BY F.E. BUSBY, TOGETHER WITH THAT PART OF THE WEST 1/2 OF VACATED ALLEY EAST OF AND ADJACENT TO SAID LOTS, AS ESTABLISHED BY THE ORDINANCE VACATING SAID ALLEY RECORDED JANUARY 14, 1964 IN BOOK 9167 AT PAGE 538, CITY AND COUNTY OF DENVER, STATE OF COLORADO AND CONTAINING 5089.3 SQUARE FEET MORE OR LESS. (A.K.A. 1596-1598 HOOKER STREET)

PARCEL 2 DESCRIPTION:

PART OF LOT 34, EXCEPT THE EAST 23 FEET THEREOF, ALL OF LOT 33 AND THE EAST 1/2 OF THE VACATED ALLEY ADJOINING AS DESCRIBED IN ORDINANCE NO. 477, SERIES OF 1963 RECORDED JANUARY 14, 1964 IN BOOK 9167 AT PAGE 538, BLOCK 26, CHELTENHAM HEIGHTS, AS RESUBDIVIDED BY F. E. BUSBY, ALL LYING NORTH OF THE SOUTH LINE OF THE NORTH 1/2 OF LOT 31 IN SAID BLOCK EXTENDED EAST, CITY AND COUNTY OF DENVER, STATE OF COLORADO AND CONTAINING 1319.3 SQUARE FEET MORE OR LESS. (A.K.A. 3100 WEST 16TH AVENUE)

PARCEL 3 DESCRIPTION:

PART OF LOT 31 AND THE SOUTH 1/2 OF LOT 31, BLOCK 26, CHELTENHAM HEIGHTS AS RESUBDIVIDED BY F.E. BUSBY, TOGETHER WITH THAT PART OF THE WEST 1/2 OF VACATED ALLEY EAST OF AND ADJACENT TO SAID LOTS, AS ESTABLISHED BY THE ORDINANCE VACATING SAID ALLEY RECORDED JANUARY 14, 1964 IN BOOK 9167 AT PAGE 538, CITY AND COUNTY OF DENVER, STATE OF COLORADO AND CONTAINING 5089.5 SQUARE FEET MORE OR LESS. (A.K.A. 1592-1594 HOOKER STREET)

PARCEL 4 DESCRIPTION:

PART OF LOT 34, EXCEPT THE EAST 23 FEET THEREOF, ALL OF LOT 33 AND THE EAST 1/2 OF THE VACATED ALLEY ADJOINING AS DESCRIBED IN ORDINANCE NO. 477, SERIES OF 1963 RECORDED JANUARY 14, 1964 IN BOOK 9167 AT PAGE 538, BLOCK 26, CHELTENHAM HEIGHTS, AS RESUBDIVIDED BY F. E. BUSBY, ALL LYING SOUTH OF THE NORTH LINE OF THE SOUTH 1/2 OF LOT 31 AND NORTH OF THE SOUTH LINE OF LOT 30 IN SAID BLOCK EXTENDED EAST, CITY AND COUNTY OF DENVER, STATE OF COLORADO AND CONTAINING 1319.3 SQUARE FEET MORE OR LESS. (A.K.A. 3100 WEST 16TH AVENUE)

NEW COMBINED PARCEL DESCRIPTION:

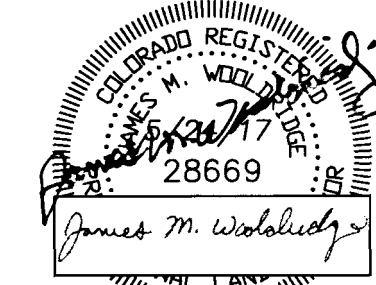
BEGINNING AT THE NORTHWEST CORNER OF LOT 32, BLOCK 26, CHELTENHAM HEIGHTS AS RESUBDIVIDED BY F.E. BUSBY, ALSO BEING A POINT ON THE EAST RIGHT-OF-WAY OF HOOKER STREET AND THE SOUTH RIGHT-OF-WAY OF WEST 16TH AVENUE, THENCE S89°52'19"E ALONG SAID SOUTH RIGHT-OF-WAY, A DISTANCE OF 170.08 FEET TO A POINT ON THE WEST RIGHT-OF-WAY OF A 20 FEET ALLEY; THENCE S00°00'32"W ALONG SAID WEST RIGHT-OF-WAY, A DISTANCE OF 49.60 FEET; THENCE N89°52'27"W, A DISTANCE OF 170.09 FEET TO A POINT ON SAID EAST RIGHT-OF-WAY; THENCE N00°01'02"E ALONG SAID EAST RIGHT-OF-WAY, A DISTANCE OF 49.59 FEET TO THE POINT OF BEGINNING AND CONTAINING 8435.6 SQUARE FEET MORE OR LESS.

NOTES:

- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT SHALL ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
- ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATED AS LOCATED BY A FIELD SURVEY FROM EXISTING SURFACE EVIDENCE. OTHER UNDERGROUND UTILITY LINES AND SERVICE LINES MAY EXIST FOR WHICH THERE IS NO EVIDENCE AND THIS SURVEY SHOULD NOT BE RELIED UPON FOR CONSTRUCTION WITHOUT FIRST CONTACTING THE APPROPRIATE AGENCIES OR AUTHORITIES.
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY CROSSROADS SURVEYING, INC. OR ANY OF ITS AGENTS, TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD AND WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OF TITLE POLICY.
- BASIS OF BEARINGS IS ASSUMED BETWEEN THE FOUND ROUND DOWEL IN DENVER RANGE BOX NEAR THE INTERSECTION OF W. 16TH AVE. AND HOOKER ST. AND THE FOUND AXLE IN DENVER RANGE BOX NEAR THE INTERSECTION OF W. 16TH AVE. AND GROVE ST., BLOCK 26, CHELTENHAM HEIGHTS, AS RESUBDIVIDED BY F.E. BUSBY, ASSUMED BEARING = N89°52'19"W AS SHOWN ON SURVEY.
- BENCHMARK FOR THIS SURVEY IS A CITY AND COUNTY OF DENVER BRASS CAP IN THE CONCRETE NEAR THE SOUTHEAST CORNER OF THE INTERSECTION OF IRVING STREET AND WEST COLFAX AVENUE. STAMPED 778.BENCHMARK ELEVATION: 5298.57 (1988 NAVD)
- ALL DIMENSIONS SHOWN AND USED ARE IN U.S. SURVEY FEET.
- UPON COMPLETION OF PROPOSED CONSTRUCTION OWNER WILL NOTIFY SURVEYOR TO RESET MONUMENTATION AS NECESSARY.

CERTIFICATION:

I, JAMES M. WOOLDRIDGE, A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF COLORADO HEREBY CERTIFY TO JAMES HERRON THAT ON MAY 24, 2017 A SURVEY WAS PERFORMED UNDER MY DIRECT SUPERVISION AND CHECKING OF THE ABOVE DESCRIBED PROPERTY, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS DRAWING IS A TRUE REPRESENTATION OF SAID SURVEY.

JAMES M. WOOLDRIDGE, P.L.S. NO. 28669 FOR AND ON
THE BEHALF OF CROSSROADS SURVEYING, INC.**PIVOTAL**
ARCHITECTURE, PC771 Santa Fe Drive #204
Denver, CO 80204
ph. (720) 473-6320

05/09/2019

PROJECT LOG #:
2018PM0000476A PORTION OF THE S.W. 1/4 OF SEC. 32, T. 3 S., R. 68 W. OF THE 6TH P.M. SURVEY SHEET 02 OF 11
MILE HIGH PLACE NORTH

MILE HIGH PLACE NORTH

SITE DEVELOPMENT PLAN

MULTIFAMILY RESIDENTIAL

A PORTION OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF DENVER, COUNTY OF DENVER, STATE OF COLORADO
LOCATED AT: 1598 N HOOKER STREET DENVER, CO 80204

TRANSPORTATION NOTES:

1. GENERALIZED DESIGN AND NOTES FOR ANY MAJOR, CHANGED, OR NEW IMPROVEMENTS TO THE RIGHT-OF-WAY REQUIRED OF THIS DEVELOPMENT PROJECT IS SHOWN.

2. A TRANSPORTATION ENGINEERING PLAN (TEP) IS A SET OF CONSTRUCTION PLANS TO DOCUMENT IN DETAIL THE RIGHT-OF-WAY IMPROVEMENTS PROPOSED. THIS DOCUMENT IS USED BY CITY AND COUNTY OF DENVER (CCD) INSPECTORS TO ENSURE THAT ALL REQUIRED RIGHT-OF-WAY IMPROVEMENTS ARE CONSTRUCTED PER CCD STANDARDS. REFER TO 2018-TRAN-0000332.

SIGHT TRIANGLE RESTRICTIONS:

10' X 10' PEDESTRIAN SIGHT TRIANGLES - NO ITEMS THAT ARE WIDER THAN 18 INCHES MAY BE TALLER THAN 30" WITHIN THIS TRIANGLE.

30' X 30' CORNER SIGHT TRIANGLES - CORNER TRIANGLES MUST BE FREE OF ALL ITEMS OVER 30" IN HEIGHT EXCEPT FOR TRAFFIC CONTROL DEVICES AND EQUIPMENT.

ROADWAY SIGHT TRIANGLES - NO ITEMS THAT ARE WIDER THAN 18 INCHES MAY BE TALLER THAN 30" WITHIN THIS TRIANGLE EXCEPT FOR STREET TREES AND TRAFFIC CONTROL DEVICES AND EQUIPMENT.

BASE PLANE CALCULATION

FRONT SOUTH VALUE: 5301.5'

PER D2C 13.1.2.2.C. MEASUREMENTS FOR PURPOSES OF ESTABLISHING A PRIMARY BASE PLANE SHALL BE ROUNDED TO THE CLOSEST WHOLE NUMBER.

SINGLE BASE PLANE = 5302' - 0"

ARCHITECTURAL 100'-0" = NAVD88 5299.4'

BUILD-TO ANALYSES

	REQUIRED (MIN)	PROVIDED
PRIMARY STREET - HOOKER STREET	70%	88%
TOTAL BUILD-TO (MIN % WITHIN MIN/MAX)		
ZONE LOT STREET FRONTAGE LENGTH	34' - 8"	49' - 7"
BUILDING LENGTH		44' - 0 1/2"
SIDE STREET - NOT APPLICABLE		

ACTIVE USE ANALYSES

ACTIVE USE REQUIREMENTS	REQUIRED (MIN)	PROVIDED
PRIMARY STREET - N. HOOKER ST.	100%	100%
PORTION OF THE STREET LEVEL BUILDING FRONTAGE THAT MEETS MINIMUM PRIMARY STREET & SIDE STREET BUILD-TO REQUIREMENTS	34'-8" **	34'-8" **
SIDE STREET - NOT APPLICABLE		

* 70% (REQ. MIN.) OF ZONE LOT STREET FRONTAGE LENGTH (49' - 7") = 34'-8"
** REFERENCE SITE PLAN FOR IDENTIFICATION OF ACTIVE USE LENGTHS

SITE PLAN LEGEND

- FRONT DOOR LOCATION
- ▴ GARAGED VEHICLE
- ACCESSIBLE PATH TO TYPE "A" AND TYPE "B" DWELLING UNITS

1 SITE PLAN
1" = 10'-0"

PIVOTAL
ARCHITECTURE, PC

771 Santa Fe Drive #204
Denver, CO 80204
ph. (720) 473-6320

05/09/2019

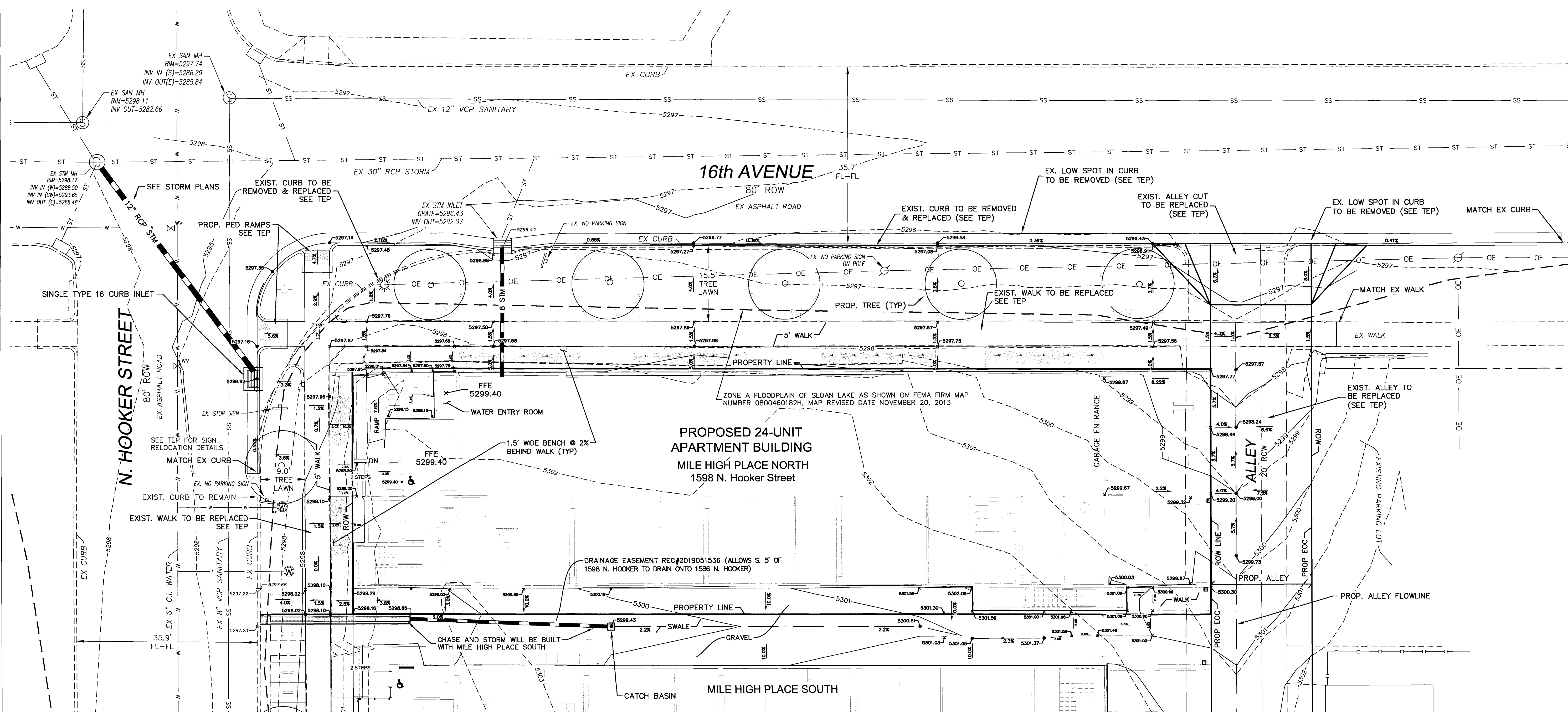
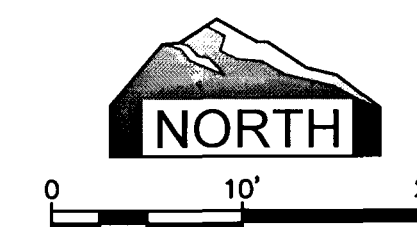
SITE PLAN SHEET 03 OF 11

MILE HIGH PLACE NORTH PROJECT LOG #: 2018PM0000476

PROJECT BENCHMARK:
CITY AND COUNTY OF DENVER BRASS CAP IN THE CONCRETE NEAR
THE SOUTHEAST CORNER OF THE INTERSECTION OF IRVING STREET
AND WEST COLFAX AVENUE. STAMPED 77B.
BENCHMARK ELEVATION: 5298.57 (1988 NAVD)

MILE HIGH PLACE NORTH SITE DEVELOPMENT PLAN

MULTIFAMILY RESIDENTIAL
A PORTION OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE
6TH PRINCIPAL MERIDIAN, CITY OF DENVER, COUNTY OF DENVER, STATE OF COLORADO
LOCATED AT: 1598 N HOOKER STREET DENVER, CO 80204

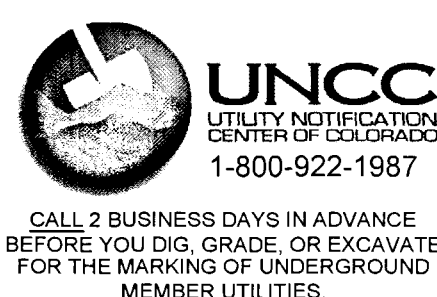


LEGEND

—	PROPERTY LINE	~~~~~	PROPOSED WALL
-x-	EXISTING FENCE	2.2%	PROPOSED SLOPE/FLOW ARROW
-SS-	EXISTING SANITARY SEWER	2.2%	EXISTING SLOPE/FLOW ARROW
-W-	EXISTING WATER MAIN	X 5280	EXISTING SPOT ELEVATION
-ST-	EXISTING STORM DRAIN	o 5280	EXISTING FLOWLINE SPOT ELEV
-G-	EXISTING GAS MAIN	X 5280.00	PROPOSED FINISHED GRADE ELEV
-E-	EXISTING BURIED ELECTRIC	• 5280.00	PROPOSED FLOWLINE SPOT ELEV
-TE-	EXISTING BURIED PHONE/CABLE	FFE	FINISHED FLOOR ELEVATION
—5230—	PROPOSED CONTOUR	—	PROPOSED STORM DRAIN PIPE
- - -5230 - - -	EXISTING CONTOUR	♿	ACCESSIBLE ENTRY

GENERAL NOTES:

1. THE CONTRACTOR SHALL, PRIOR TO CONSTRUCTION, MOBILIZATION, OR ORDERING OF MATERIALS, CONFIRM THAT EXISTING UTILITY LOCATIONS ARE AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BEAR THE FULL COST OF REMOVAL, REPLACEMENT, DELAY, AND MOBILIZATION RELATED TO UNVERIFIED EXISTING CONDITIONS. WHERE THE CONTRACTOR FINDS DISCREPANCIES THEY SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER.
2. THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO COMPLETE THE WORK SHOWN ON THE PLANS OR DESCRIBED IN THE SPECIFICATIONS IN A SATISFACTORY MANNER. UNLESS OTHERWISE PROVIDED, THE CONTRACTOR SHALL FURNISH ALL MATERIALS, EQUIPMENT, TOOLS, LABOR, AND INCIDENTALS TO COMPLETE THE WORK.
3. NO JOINTS ALLOWED ALONG DRIVE FLOWLINE. ALL JOINTS MUST BE A MINIMUM 3' AWAY FROM FL.
4. SEE GEOTECH REPORT FOR PAVEMENT DESIGN.



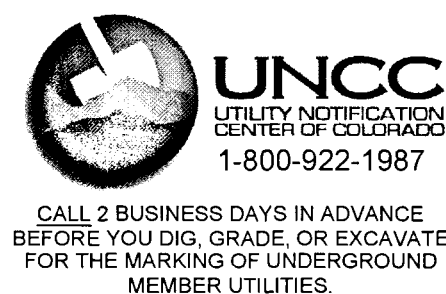
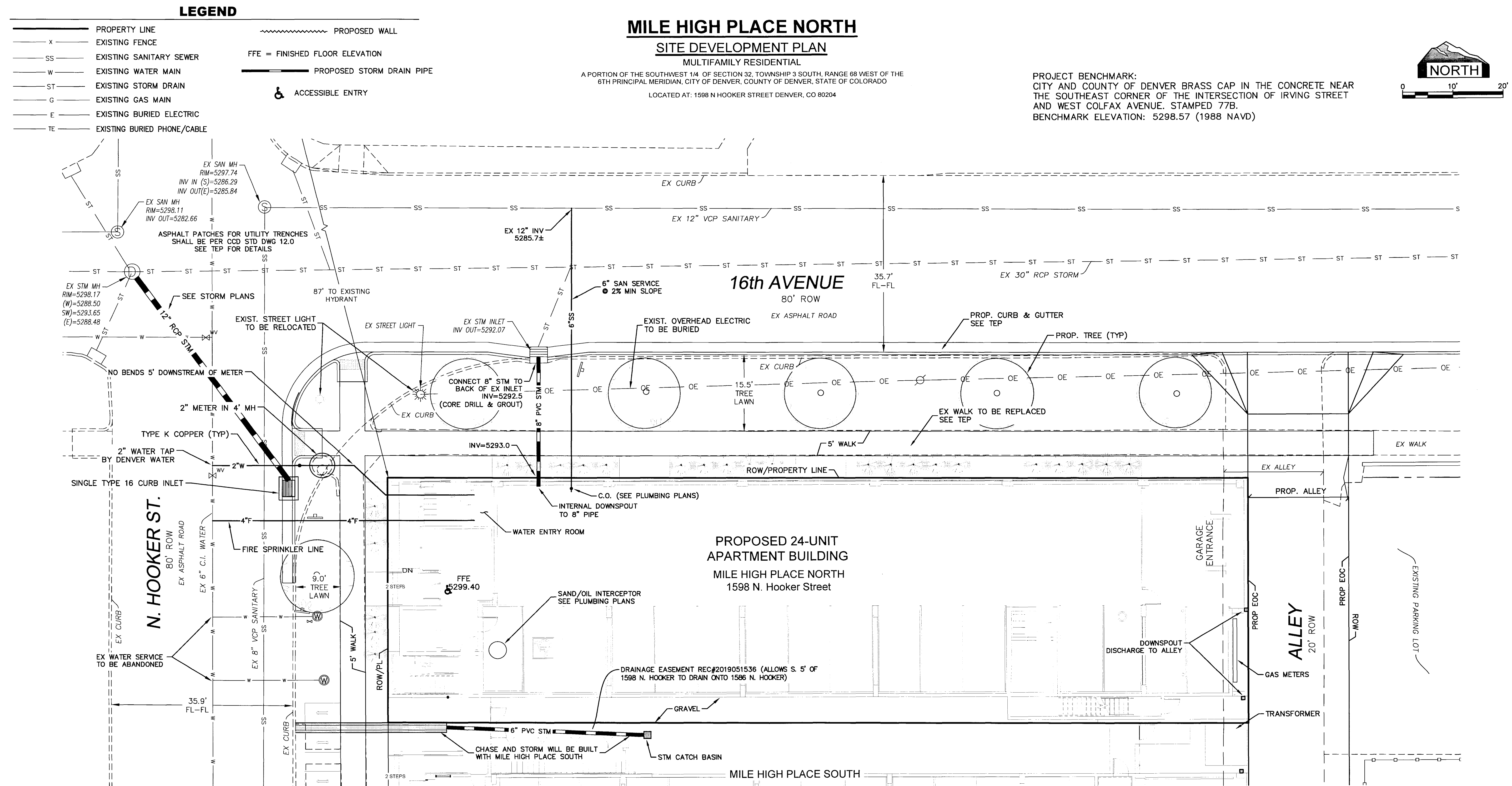
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ARCHITECTURE, PC

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GRADING & DRAINAGE PLAN SHEET 04 OF 11

05/09/2019

MILE HIGH PLACE NORTH PROJECT LOG #: 2018PM0000476



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UTILITY PLAN SHEET 05 OF 11

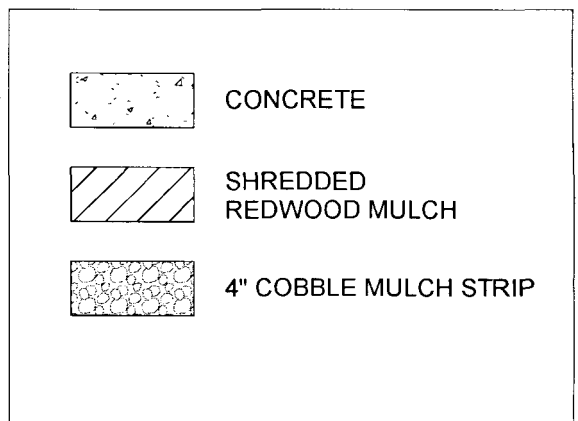
MILE HIGH PLACE NORTH PROJECT LOG #: 2018PM0000476

MILE HIGH PLACE NORTH
SITE DEVELOPMENT PLAN

MULTIFAMILY RESIDENTIAL

A PORTION OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF DENVER, COUNTY OF DENVER, STATE OF COLORADO
LOCATED AT: 1598 N HOOKER STREET DENVER, CO 80204

LANDSCAPE PLAN LEGEND

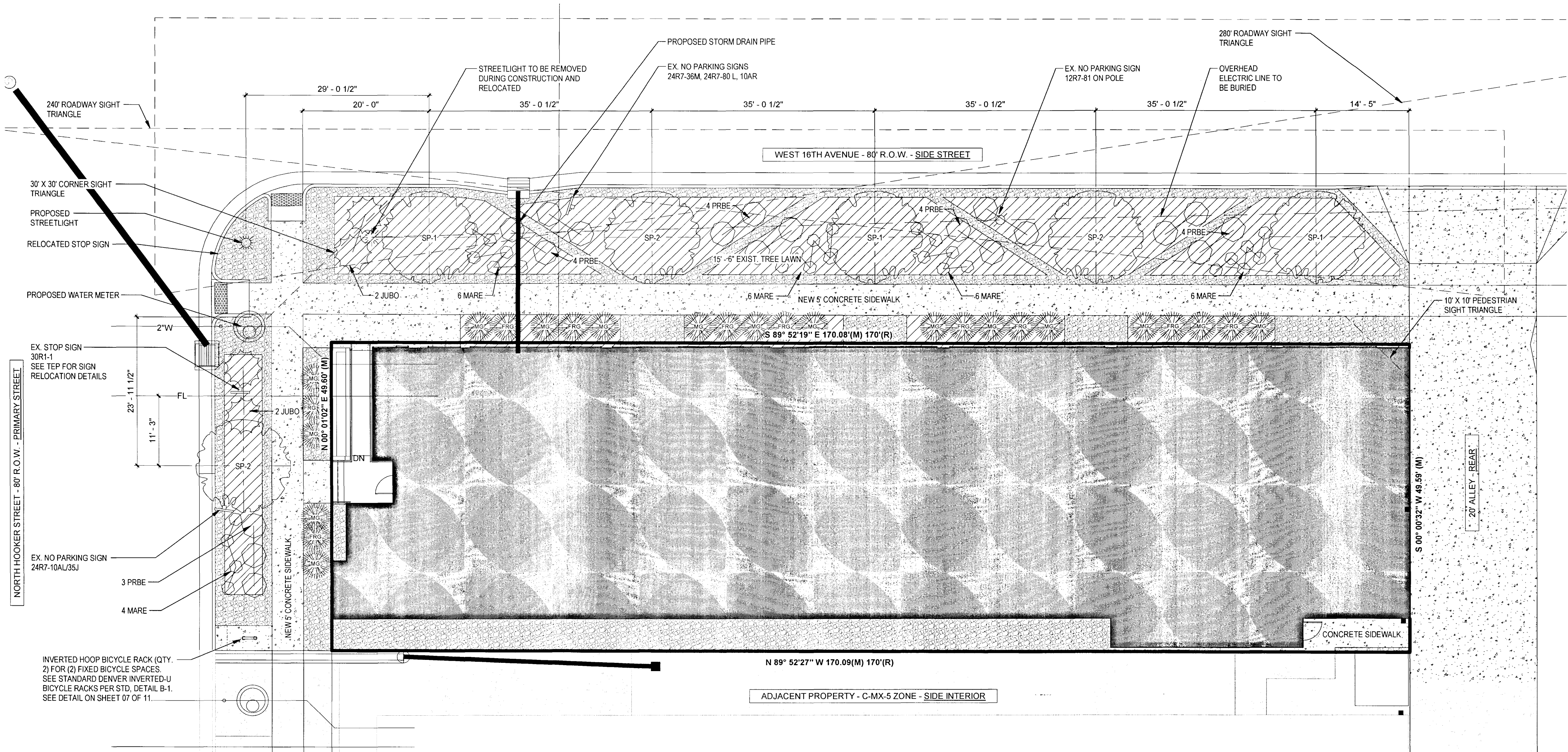


PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
DECIDUOUS TREES					
SP-1	3	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO	2\" B&B	30' CANOPY SPREAD AT MATURITY
SP-2	3	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	2\" B&B	50' CANOPY SPREAD AT MATURITY
GRASSES					
FRG	10	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FOERSTER FEATHER REED GRASS	1 GAL.	
MG	16	MISCANTHUS SINENSIS 'ARABESQUE'	ARABESQUE MAIDEN GRASS	1 GAL.	
SHRUBS					
JUBO	4	JUNIPERUS SABINA 'BROADMOOR'	BROADMOOR JUNIPER	# 5	72\" o.c. SPACING
MARE	28	MAHONIA REPENS	CREEPING MAHONIA	# 1	24\" o.c. SPACING
PRBE	19	PRUNUS BESSEYI 'PAWNEE BUTTES'	SAND CHERRY	# 5	48\" o.c. SPACING

Office of the City Forester (OCF) Standard General Plan Notes:

- Existing trees required to be preserved in ROW and/or public place shall be protected per OCF standards and practices. Tree protection shall be installed prior to issue of demolition/building permit, approved by the OCF, and shall remain as approved throughout construction. No access, construction activities or storage of construction materials/debris/equipment shall take place within tree protection zones without prior written authorization from the OCF.
- Per City Code, all tree removals in City/County of Denver must be performed by the property owner or a tree contractor licensed by OCF, including trees in ROW, public place and private property. For a current list of licensed tree contractors, visit www.denvergov.org/Forestry.
- OCF-approved tree removals in ROW or public place:
 - A tree removal permit issued by the OCF is required prior to removal. Tree removal permits are not included with building permits or plan approvals and must be obtained separately from the OCF. Contact the OCF (Forestry@denvergov.org) with name of licensed contractor or property owner performing removal. Include project number (2018PM0000476) and project address.
 - Existing ROW or public place trees approved for removal by the OCF must be protected in place until removed by an OCF licensed tree contractor. Failure to protect such trees until removal, or removing trees without a permit, will result in a notice of violation and/or citations/fines.
- A tree removal permit is not required for private property tree removals.
- All proposed landscaping in the ROW shall be per the Streetscape Design Manual with the exception of tree planting, this shall be in accordance with current OCF Rules and Regulations.
- All electric fixtures and utilities, including but not limited to outlets and lights, shall be located at outside perimeter of tree planting areas within hardscape. In tree lawns, fixtures shall be placed minimum 3 (three) feet radially from base of trunk.
- An OCF-issued tree planting permit is required for all trees to be planted in ROW or public place. Contact OCF (Forestry@denvergov.org) with name of contractor or property owner performing work. Include project number (2018PM0000476) and project address when requesting permit. Tree planting permits are not included with building permits and must be obtained separately from the OCF prior to installation.
- Proposed tree planting in the Right-of-Way (ROW) or public place shall be pre-approved by the Office of the City Forester (OCF) and shall be a minimum of:
 - 30' from outside edge of intersecting curbs for sight triangle
 - 20' from stop signs
 - 25' from street lights
 - 20' from pedestrian curb ramps
 - 10' from edge of vehicular drive apron and hydrants.
- All plant material shall meet or exceed current American Standard for Nursery Stock ANSI Z60.1 and the Colorado Nursery Act and accompanying Rules and Regulations.
- Required soil remediation when removing hardscape/concrete/asphalt/pavers/etc. to plant trees:
 - Soil analysis, bulk density testing and remediation required when removing hardscape to plant trees; including but not limited to concrete, asphalt, pavers, brick
 - Deep soil analysis to 24\" depth required from credited, local soil analysis laboratory with experience in local urban soils
 - Analysis must determine soil texture and type, pH balance, soil salinity, organic matter (OM) percentage, and plant available nutrients
- Soil Remediation required based on soil analysis.
- Contact the OCF a minimum of five (5) business days before commencement of demolition and/or construction activity.



SIGHT TRIANGLE RESTRICTIONS:

10' X 10' PEDESTRIAN SIGHT TRIANGLES - NO ITEMS THAT ARE WIDER THAN 18 INCHES MAY BE TALLER THAN 30" WITHIN THIS TRIANGLE.

30' X 30' CORNER SIGHT TRIANGLES - CORNER TRIANGLES MUST BE FREE OF ALL ITEMS OVER 30" IN HEIGHT EXCEPT FOR TRAFFIC CONTROL DEVICES AND EQUIPMENT.

ROADWAY SIGHT TRIANGLES - NO ITEMS THAT ARE WIDER THAN 18 INCHES MAY BE TALLER THAN 30" WITHIN THIS TRIANGLE EXCEPT FOR STREET TREES AND TRAFFIC CONTROL DEVICES AND EQUIPMENT.

1 LANDSCAPE PLAN
1" = 10'-0"

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LANDSCAPE PLAN SHEET 06 OF 11
MILE HIGH PLACE NORTH

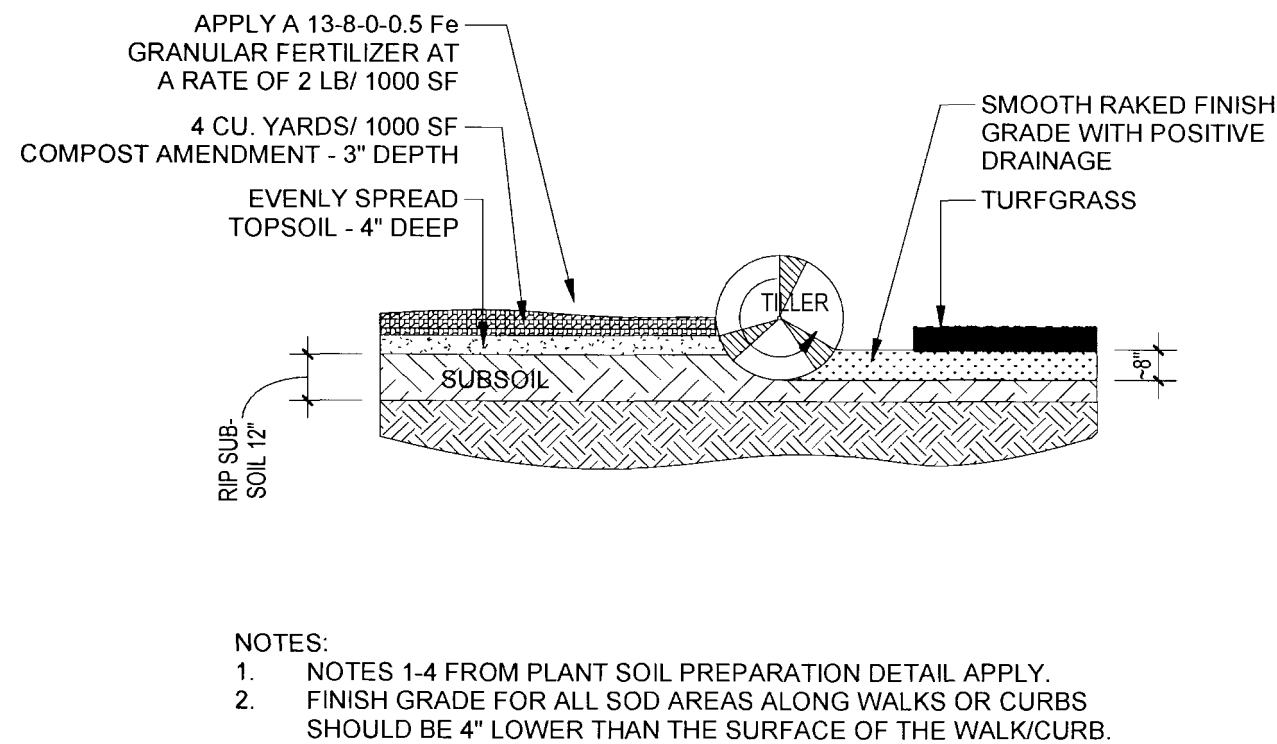
05/09/2019
PROJECT LOG #: 2018PM0000476

MILE HIGH PLACE NORTH

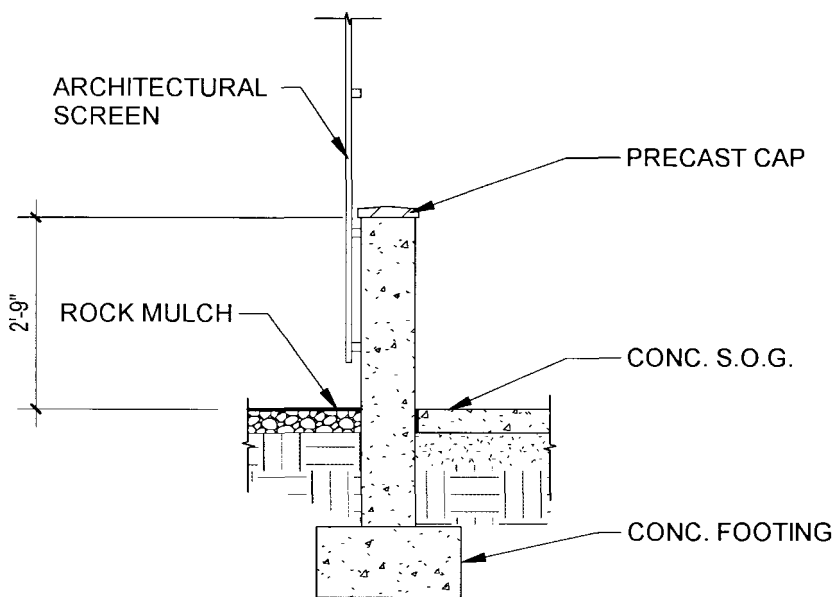
SITE DEVELOPMENT PLAN

MULTIFAMILY RESIDENTIAL

A PORTION OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF DENVER, COUNTY OF DENVER, STATE OF COLORADO
LOCATED AT: 1598 N HOOKER STREET DENVER, CO 80204



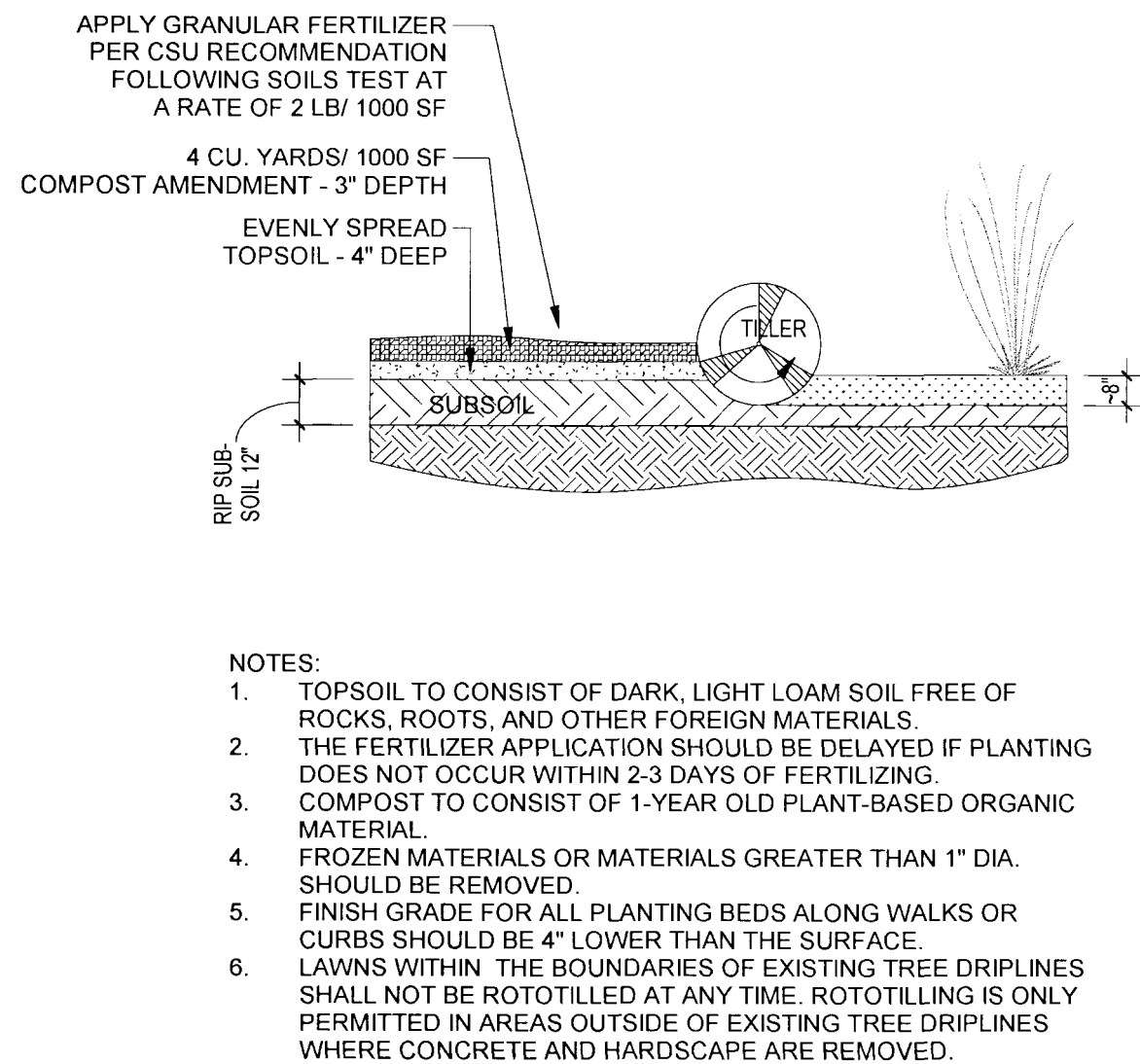
5 SOIL PREPARATION - TURFGRASS (SOD)
1/2\" = 1'-0"



2 DETAIL FOR LOW MASONRY WALL
3/8\" = 1'-0"

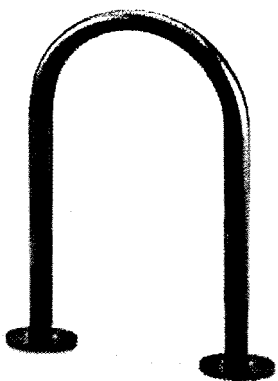
ULTRA SPACE SAVER SQUARED

Submittal Sheet



4 SOIL PREPARATION - PLANTINGS
1/2\" = 1'-0"

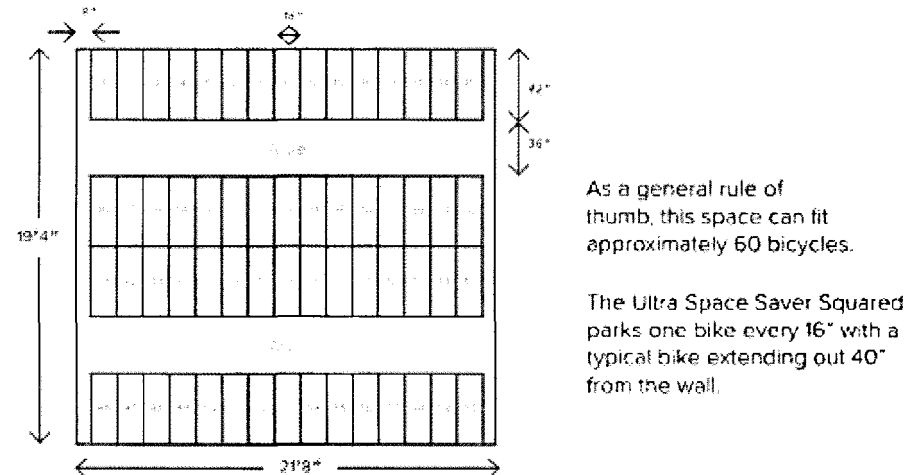
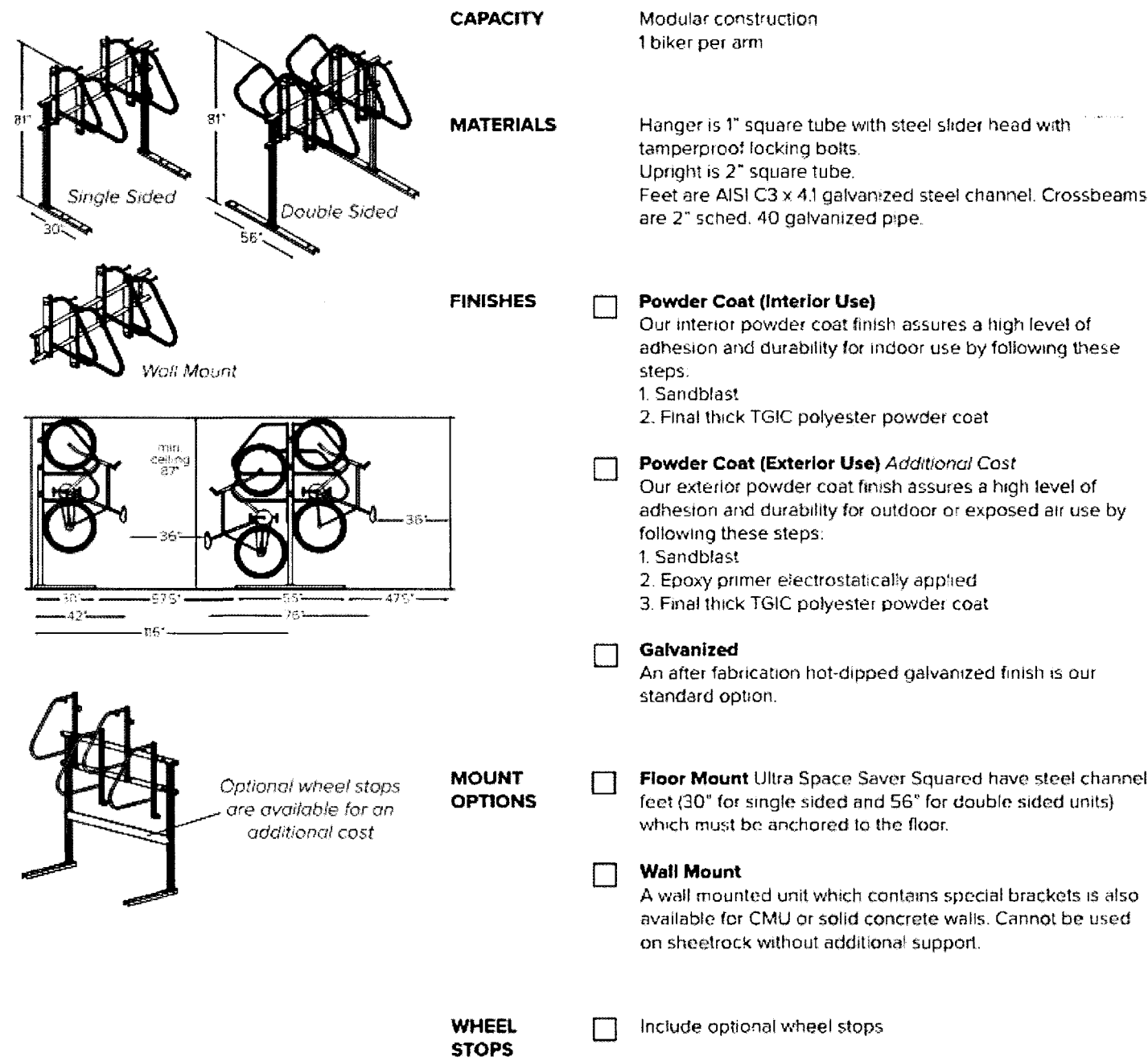
1-Loop Wave Style Bike Rack - 2 Bike Capacity, Black



Upscale stylish look for downtown shopping and business districts.

- 10-gauge steel with attractive powder coating.
- 2 3/8" diameter bar.
- Concrete mounting hardware sold separately.

3 DETAIL FOR FIXED BICYCLE RACK
NOT TO SCALE



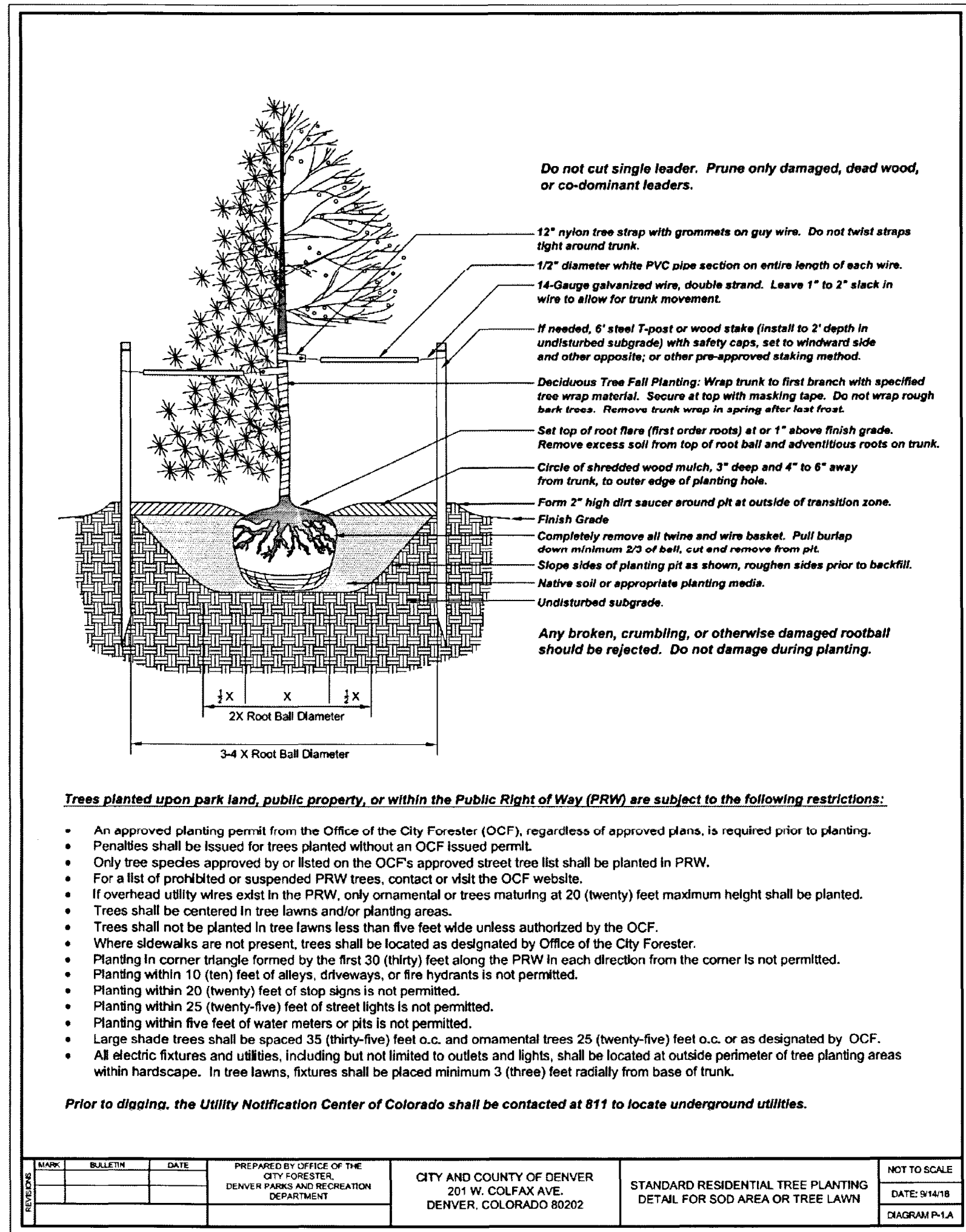
www.dero.com | 1-888-337-6729

© 2018 Dero

1 ENCLOSED BICYCLE RACK DETAIL
NOT TO SCALE

PLANT NOTES

1. ALL PLANT MATERIAL SHALL MEET SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) FOR NUMBER ONE GRADE. ALL TREES SHALL BE BALLED AND BURLAPPED OR EQUIVALENT. ALL PLANT MATERIALS SHALL HAVE ALL WIRE, TWINE OR OTHER CONTAINMENT MATERIALS, EXCEPT FOR BURLAP, REMOVED FROM TRUNK AND ROOT BALL OF THE PLANT PRIOR TO PLANTING.
2. TREES SHALL NOT BE PLANTED CLOSER 10 FEET TO ANY SEWER OR WATER LINE. TREE PLANTING SHALL BE COORDINATED WITH UTILITY COMPANIES LOCATIONS OF ALL UTILITIES SHALL BE VERIFIED IN THE FIELD PRIOR TO PLANTING.
3. GRADES SHALL BE SET TO ALLOW FOR PROPER DRAINAGE AWAY FROM STRUCTURES. GRADES SHALL MAINTAIN SMOOTH PROFILES AND BE FREE OF SURFACE DEBRIS, BUMPS, AND DEPRESSIONS.
4. DEVELOPERS SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTIONS DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
5. ALL SHRUB BEDS ADJACENT TO TURF AREAS SHALL BE EDGED WITH RYERSON OR APPROVED EQUIVALENT STEEL EDGER.
6. ALL SHRUB BED AREAS SHALL BE MULCHED WITH SHREDDED REDWOOD MULCH OVER WEED BARRIER FABRIC TO A DEPTH OF 4". PERENNIALS AND GROUNDCOVER AREAS SHALL BE MULCHED WITH A 3" LAYER. NO WEED BARRIER IN PERENNIAL/ANNUAL AREAS.
7. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEO. ORGANIC SOIL AMENDMENTS SHALL BE INCORPORATED AT THE RATE OF AT LEAST THREE (3) CUBIC YARDS PER 1000 SQUARE FEET OF LANDSCAPE AREA.
8. ALL LANDSCAPE (PLANT MATERIALS AND GRASS) WILL BE IRRIGATED WITH AN AUTOMATIC SYSTEM ACCORDING TO INTERLOCKEN DESIGN SPECIFICATIONS. TURF AREAS WILL HAVE A SPRAY ZONE, SHRUBS AND TREES IN GRATES OR OPENINGS WILL HAVE A DRIP ZONE AND PERENNIALS/GROUNDCOVERS (PART OF THE DRIP ZONE) WILL HAVE MICRO-JET SPRAYS. MAINTENANCE FOR ALL OF THIS PROJECT WILL BE BY OWNER.
9. CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES PRIOR TO INSTALLATION. ACTUAL NUMBER OF PLANT SYMBOLS SHALL HAVE PRIORITY OVER THE QUANTITY DESIGNATED.
10. ANY WORK COMPLETED WITHIN THE ROW WILL MEET CITY OF DENVER, STREETSCAPE DESIGN MANUAL STANDARDS. IF ANY ADDITIONAL TREES ARE REQUIRED WITHIN THE ROW, THEY SHALL BE PRE-APPROVED BY THE CITY FORESTER'S OFFICE PER THE STREETSCAPE DESIGN STANDARDS.



Trees planted upon park land, public property, or within the Public Right of Way (PRW) are subject to the following restrictions:

- An approved planting permit from the Office of the City Forester (OCF), regardless of approved plans, is required prior to planting.
- Penalties shall be issued for trees planted without an OCF issued permit.
- Only tree species approved by or listed on the OCF's approved street tree list shall be planted in PRW.
- For a list of prohibited or suspended PRW trees, contact or visit the OCF website.
- If overhead utility wires exist in the PRW, only ornamental or trees maturing at 20 (twenty) feet maximum height shall be planted.
- Trees shall be centered in tree lawns and/or planting areas.
- Trees shall not be planted in tree lawns less than five feet wide unless authorized by the OCF.
- Where sidewalks are not present, trees shall be located as designated by Office of the City Forester.
- Planting in corner triangle formed by the first 30 (thirty) feet along the PRW in each direction from the corner is not permitted.
- Planting within 10 (ten) feet of alleys, driveways, or fire hydrants is not permitted.
- Planting within 20 (twenty) feet of stop signs is not permitted.
- Planting within 25 (twenty-five) feet of street lights is not permitted.
- Planting within five feet of water meters or pits is not permitted.
- Large shade trees shall be spaced 35 (thirty-five) feet o.c. and ornamental trees 25 (twenty-five) feet o.c. or as designated by OCF.
- All electric fixtures and utilities, including but not limited to outlets and lights, shall be located at outside perimeter of tree planting areas within hardscape. In tree lawns, fixtures shall be placed minimum 3 (three) feet radially from base of trunk.

Prior to digging, the Utility Notification Center of Colorado shall be contacted at 811 to locate underground utilities.

DATE	REVISION	DATE	BY	DATE	BY

PREPARED BY OFFICE OF THE CITY FORESTER, DENVER PARK AND RECREATION DEPARTMENT	CITY AND COUNTY OF DENVER, 201 W. COLFAX AVE., DENVER, COLORADO 80202	STANDARD RESIDENTIAL TREE PLANTING DETAIL FOR SOD AREA OR TREE LAWN	NOT TO SCALE DATE: 9/14/18 DRAWN: P.L.A.
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PIVOTAL
ARCHITECTURE, PC

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MILE HIGH PLACE NORTH
SITE DEVELOPMENT PLAN

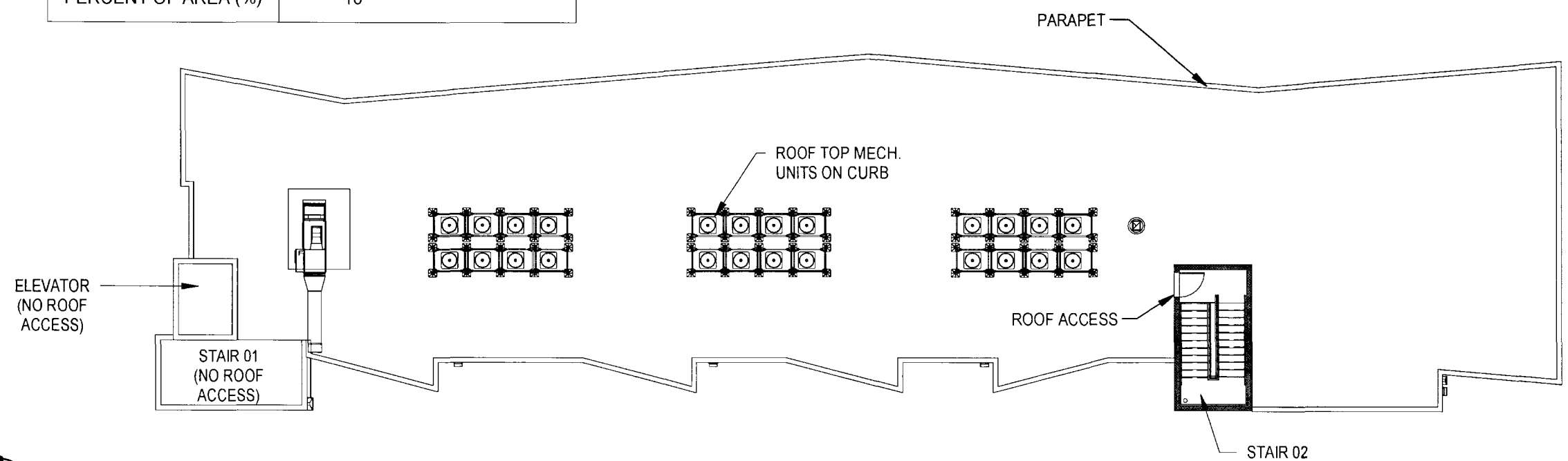
MULTIFAMILY RESIDENTIAL

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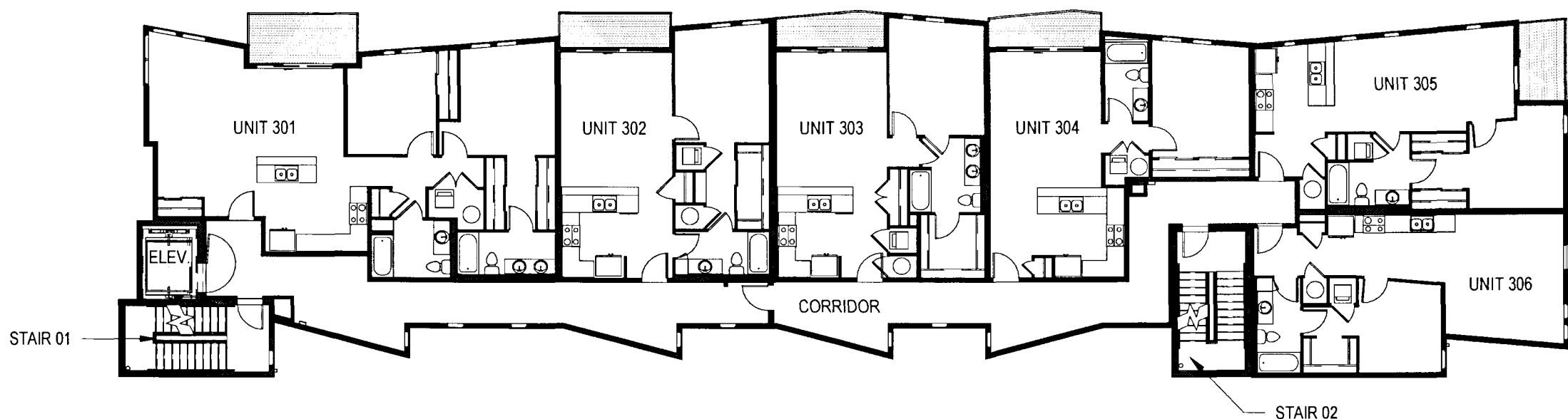
**UNOCCUPIED STAIR AND
MECHANICAL ENCLOSURES**

AREA PERCENTAGE CALCULATIONS:

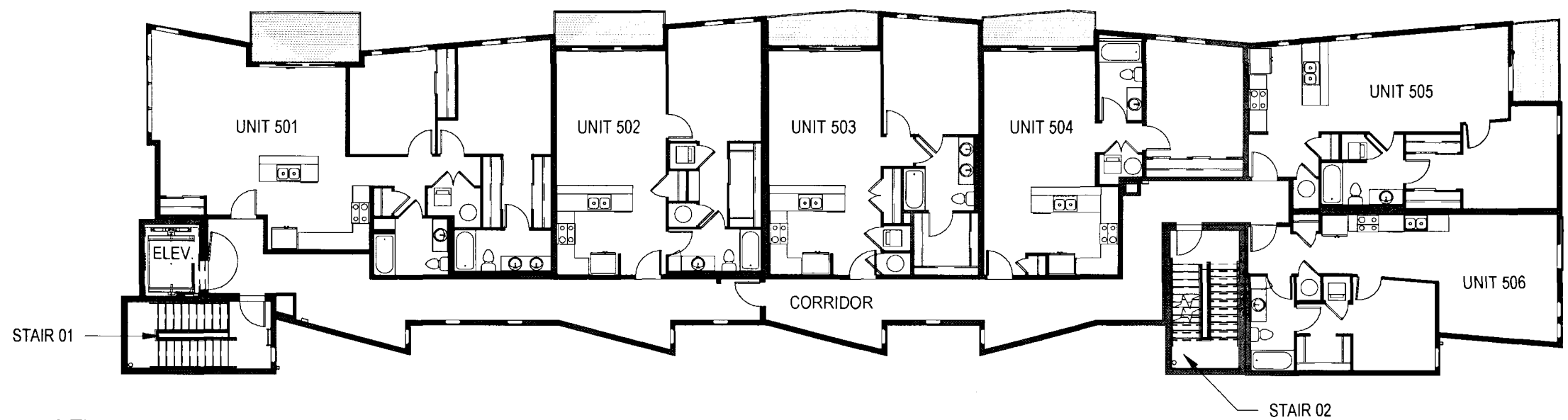
AGGREGATE AREA OF ENCLOSURE & ROOF-TOP MECHANICAL EQUIPMENT (SF)	661
AREA OF THE SUPPORTING ROOF (SF)	6319
PERCENT OF AREA (%)	10



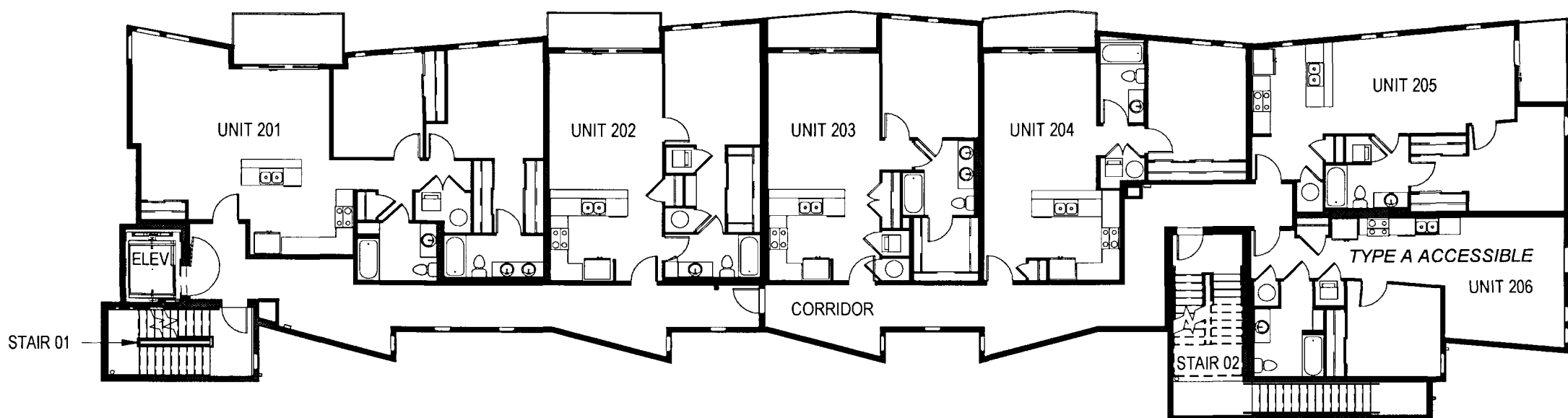
6 ROOF PLAN
1/16" = 1'-0"



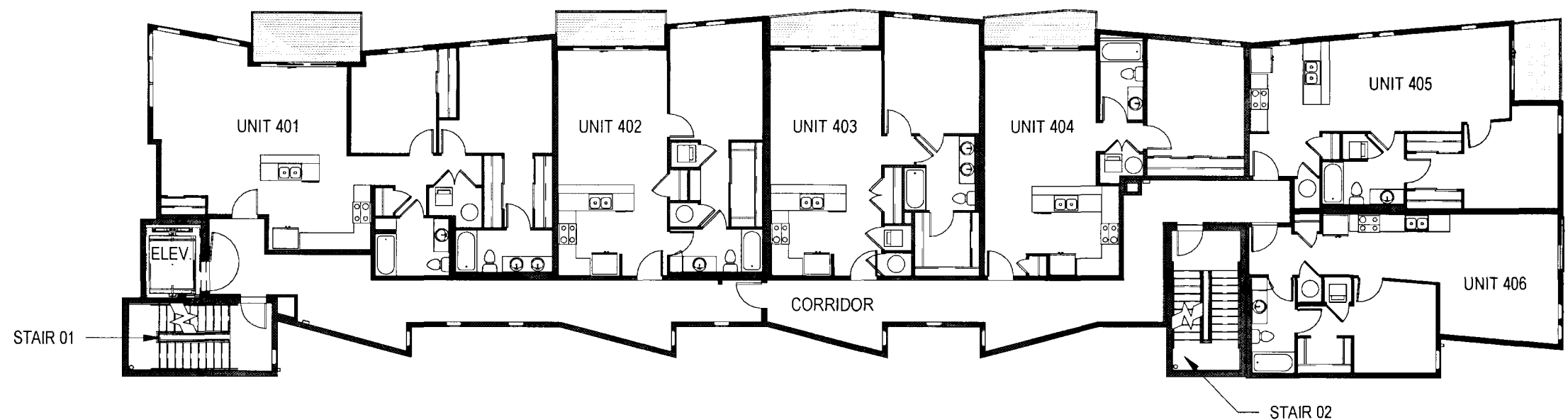
3 LEVEL 3
1/16" = 1'-0"



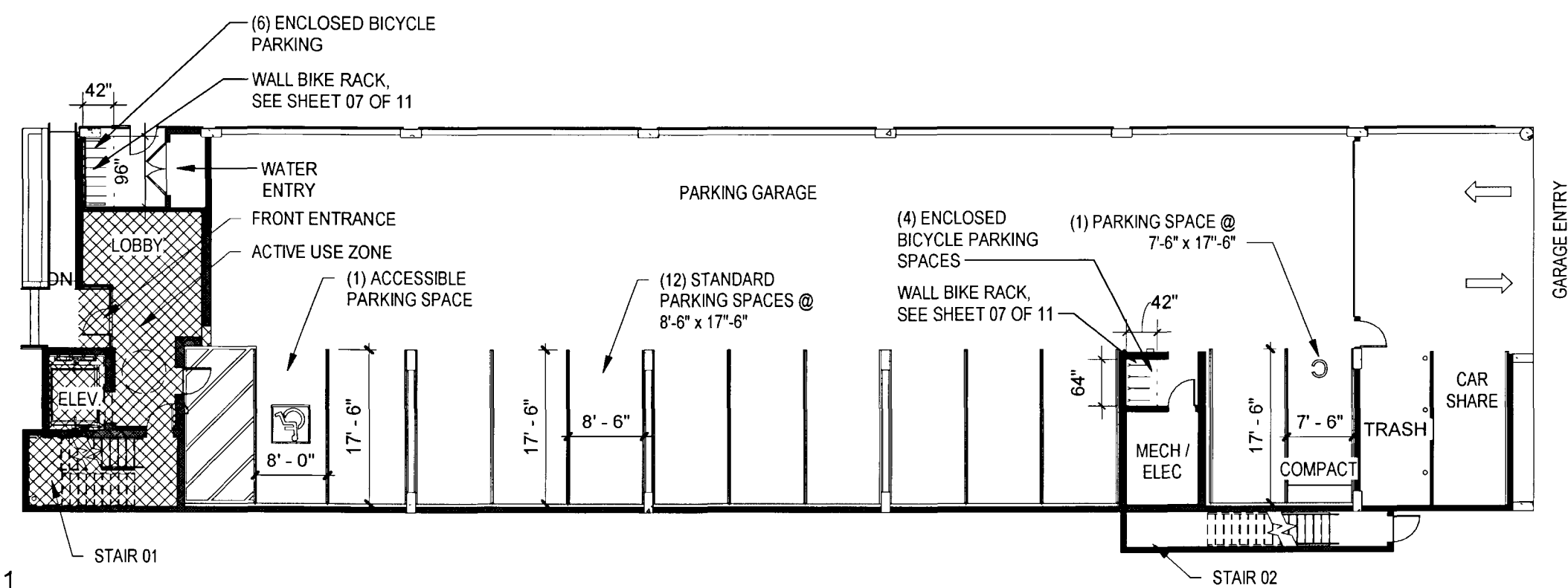
5 LEVEL 5
1/16" = 1'-0"



2 LEVEL 2
1/16" = 1'-0"

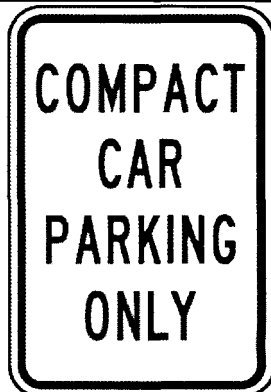


4 LEVEL 4
1/16" = 1'-0"



1 LEVEL 1
1/16" = 1'-0"

**COMPACT SPACE
PARKING SIGNAGE**



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MILE HIGH PLACE NORTH

SITE DEVELOPMENT PLAN

MULTIFAMILY RESIDENTIAL

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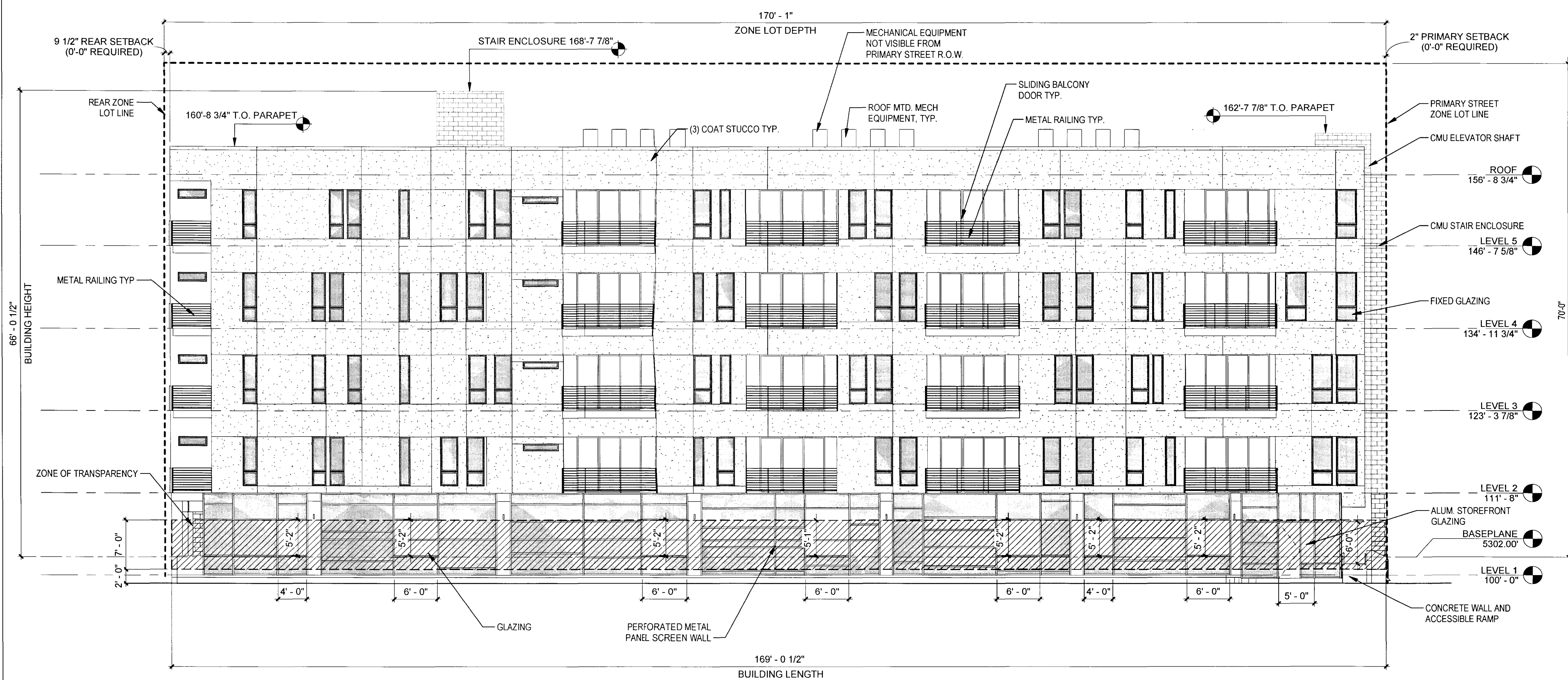
GROUND STORY ACTIVATION (TRANSPARENCY)

REFERENCE WEST ELEVATION - PRIMARY STREET AND NORTH ELEVATION - SIDE STREET ON SHEET 10 OF 12.

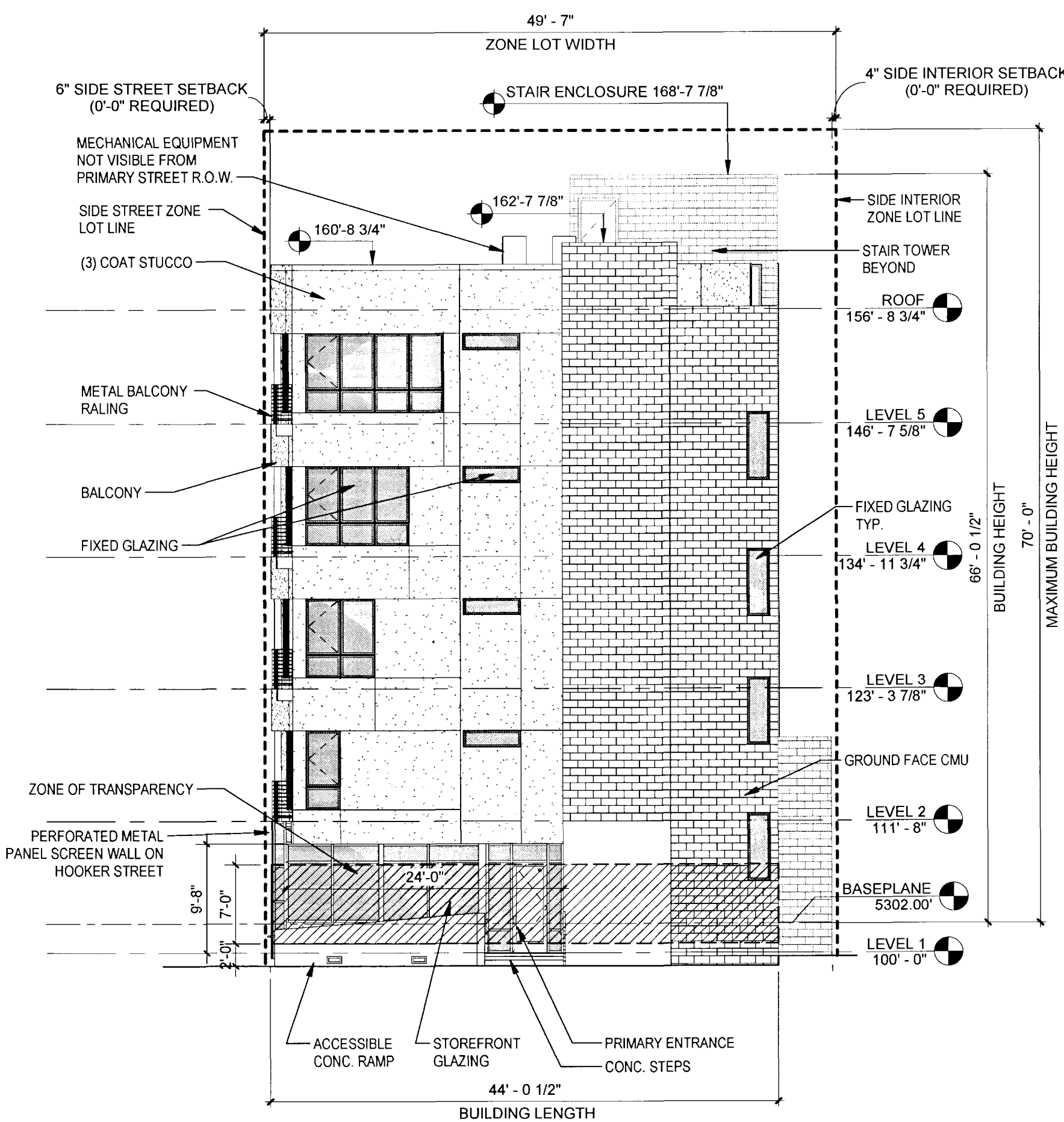
	REQUIRED (MIN)	PROVIDED
PRIMARY STREET - N HOOKER STREET	40%	54%
TOTAL TRANSPARENCY (%)		
BUILDING LENGTH *		44' - 0 1/2"
CLEAR GLAZING	17' - 1"	24' - 0"
SIDE STREET - WEST 16TH AVENUE	25%	25%
TOTAL TRANSPARENCY (%)		
BUILDING LENGTH *		169' - 1/2"
CLEAR GLAZING	42' - 3"	43' - 0"

WINDOW GLAZING SHALL BE CLEAR AND SHALL TRANSMIT AT LEAST 65% OF THE VISIBLE DAYLIGHT (VISIBLE TRANSMITTANCE SHALL BE .65 OR GREATER).

* BUILDING LENGTH = STREET-FACING STREET LEVEL BUILDING FACADE



② NORTH ELEVATION - WEST 16TH AVENUE - SIDE STREET
1" = 10'-0"



① WEST ELEVATION - HOOKER STREET - PRIMARY STREET
1" = 10'-0"

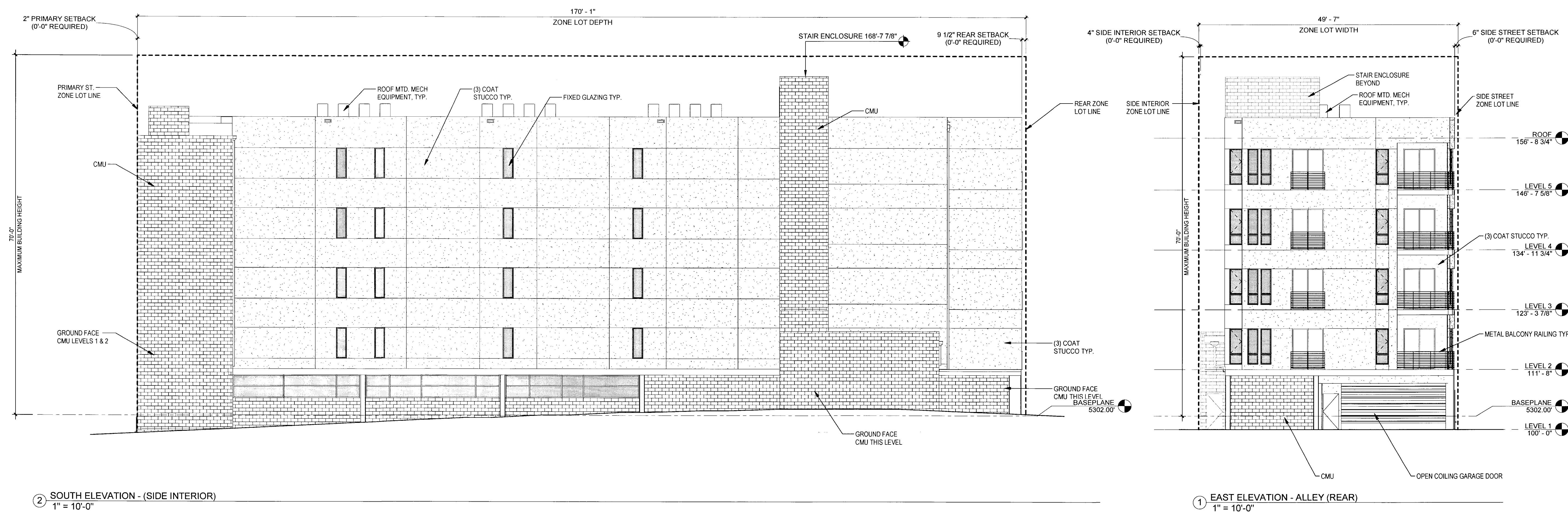
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ARCHITECTURE, PC

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MILE HIGH PLACE NORTH**SITE DEVELOPMENT PLAN**

MULTIFAMILY RESIDENTIAL

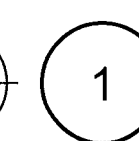
A PORTION OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF DENVER, COUNTY OF DENVER, STATE OF COLORADO
LOCATED AT: 1598 N HOOKER STREET DENVER, CO 80204

**PIVOTAL**
ARCHITECTURE, PC771 Santa Fe Drive #204
Denver, CO 80204
ph. (720) 473-6320ARCHITECTURAL BUILDING ELEVATIONS SHEET 10 OF 11
MILE HIGH PLACE NORTH05/09/2019
PROJECT LOG #: 2018PM0000476

A PORTION OF THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 3 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF DENVER, COUNTY OF DENVER, STATE OF COLORADO
LOCATED AT: 1598 N HOOKER STREET DENVER, CO 80204

GENERAL NOTES:

1. EXTERIOR LIGHTING MUST FOLLOW DENVER OUTDOOR LIGHTING STANDARD.
2. PROPOSED BUILDING STRUCTURE IS ON PROPERTY LINES, THEREFORE MAXIMUM LIGHT LEVELS AT PROPERTY LINES MAY EXCEED LISTED MAXIMUM STANDARDS. LUMINAIRES WERE PLACED TO MAINTAIN A LOW LIGHT LEVEL WHILE MINIMIZING RATIOS AROUND BUILDING PERIMETER FOR SAFETY.
3. ALL CALCULATIONS MADE WITH A LIGHT LOSS FACTOR OF 1.0.
4. ALL CALCULATION POINTS ARE AT GRADE.
5. POINT SPACING IS 5'-0"
6. ALL LUMINAIRES ARE FULL CUTOFF.
7. LUMINAIRES POWERED VIA HOUSE PANEL, AND TO BE CONTROLLED VIA PHOTOCELL.
8. ANY PROPOSED LIGHT FIXTURE INSTALLED ON PRIVATE PROPERTY, ADJACENT TO THE PUBLIC RIGHT-OF-WAY, SHALL BE ORIENTED IN SUCH A MANNER OR LIMITED LUMEN OUTPUT TO PREVENT GLARE PROBLEMS AND SHALL NOT EXCEED NATIONAL IES LIGHTING STANDARDS FOR DISABILITY GLARE.



SCALE: 1" = 10'-0"

[illegible]

05/09/2018